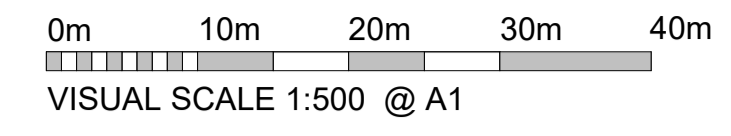


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Area Schedule (GEA) - Option 7 (Indicative Only)		
Name	Metric	Imperial
Unit 1		
GF GEA	3,927.10 m ²	42,271 ft ²
FF GEA	4,111.06 m ²	4,425 ft ²
	4,338.16 m ²	46,696 ft ²
Unit 2		
GF GEA	6,687.03 m ²	71,763 ft ²
FF GEA	731.08 m ²	7,869 ft ²
	7,398.11 m ²	79,633 ft ²
TOTAL: 4	11,736.27 m ²	126,328 ft ²

Parking Schedule - Option 7	
Description	Count
Unit 1	
Standard car parking bay	48
Disabled parking bay	3
Electric Charge Car Parking Bay	3
	54
Unit 2	
Standard car parking bay	46
Disabled parking bay	4
Electric Charge Car Parking Bay	3
	53
TOTAL: 107	107

Site Area		
Mark	Name	Area
Unit 1	Site Area	1.97 acres
Unit 2	Site Area	2.96 acres
		4.93 acres



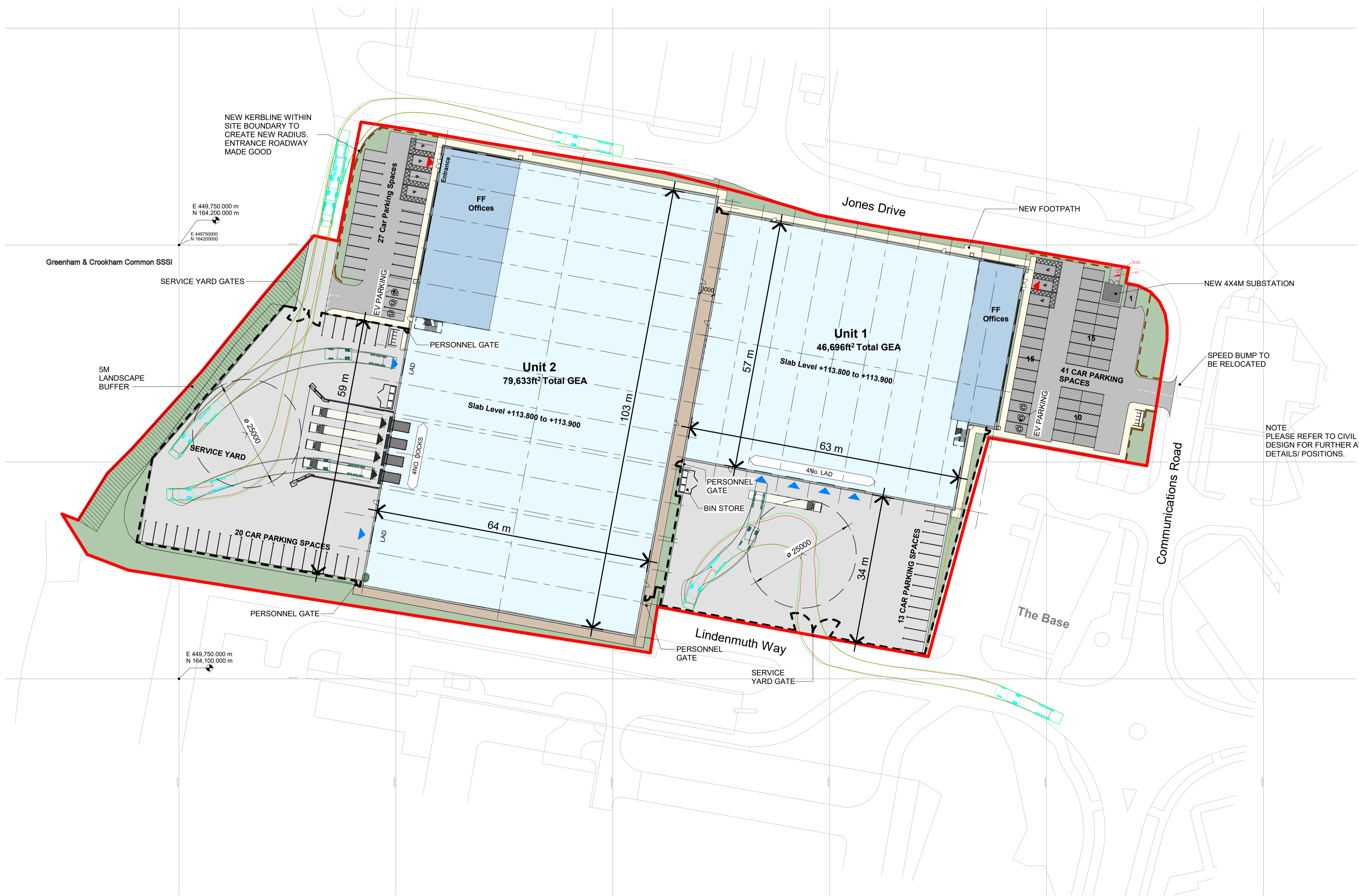
Hazard Identification		
ref	hazard	date

DEVELOPMENT KEY

- Application Boundary
- Proposed Building
- Proposed Office
- Existing Building
- Soft Landscaping
- 5m Landscape Buffer
- Concrete Yard
- Tarmac Road
- Path / Paving
- Permeable Paving Slabs
- Level Access Loading Door
- Dock Leveller Doors
- Main Entrance
- Sub Station
- Bin Store Provision
- Bicycle Provision
- Paladin Fence & Gate

DESIGN HAZARD IDENTIFICATION

- A. Unless noted otherwise, all known hazards have been identified on this drawing.
- B. Known risks of significant and project specific nature have also been captured on the 'Designers Risk Assessment' (DRA) Schedule.
- C. Should unexpected risks arise, EA/CA to be notified immediately.
- D. The principal contractor is to execute and complete the works under the duties as required of the current CDM regulations.
- E. NO additional risks are expected as a result or consequence of the proposed works.
- F. Access Strategy proposals for 'Cleaning & Maintenance' are defined under separate dedicated document(s).
- G. Refer to consultant Engineer's (Geotechnical, Civil, Structural, Mechanical and Electrical) drawings and specifications for any risks associated with those work package elements (including any demolition and / or enabling works).



C02	Site update and GEAs indicated	SS	14.10.22
C01	Full Construction Issue	SS	09.09.22
P14	Construction Issue with Site amendments	SS	09.09.22
P13	Unit 1 yard and paths amended per retaining structure	SS	08.08.22
P12	General update. Contract Issue.	SS	24.06.22
P11	PLANNING ISSUE. Notes amended as required by Planning.	A.AL	01.06.22
P10	Kerblines revised within site demise. Footpaths update and unit 2 offices extended.	SS	24.05.22
P9	Levels. Additional Tracking and Site update.	A.AL	18.05.22
P8	Site updated.	A.AL	28.04.22
P7	Minor site feature amendment for HGV tracking	SS	06.04.22
P6	Units repositioned. Unit 1 office block and car park amended	SS	22.03.22
P5	Tender Issue	BE	24.01.22
P4	Update Issue	BC	14.12.21
P3	Scale Note Amended	BC	13.12.21
P2	GIA schedule Added	BE	06.12.21
P1	Planning Issue	BE	19.11.21

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Client
GP Developments (Newbury) Limited

Project
Greenham Business Park
Newbury

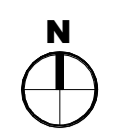
Drawing Title
Site Plan as Proposed

Status Purpose of Issue
B PARTIALLY SIGNED-OFF

Drawn by BE **Created** 19.11.21

C4 Job no. 21-012 **Scale** As indicated **@** A1

Dwg no. 21012-C4P-AV-ZZ-DR-A-0500 **Rev** C02



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Hazard Identification		
ref	hazard	date

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- C. Should unexpected risks arise, EA/CA to be notified immediately.
- D. The principal contractor is to execute and complete the works under the duties as required of the current CDM regulations.
- E. NO additional risks are expected as a result or consequence of the proposed works.
- F. Access Strategy proposals for 'Cleaning & Maintenance' are defined under separate dedicated document(s).
- G. Refer to consultant Engineer's (Geotechnical, Civil, Structural, Mechanical and Electrical) drawings and specifications for any risks associated with those work package elements (including any demolition and / or enabling works).

BOUNDARY TREATMENT KEY

- Retaining Structure L-WALL
- Line of Existing Fencing to be relocated



Paladin Fencing with gates as indicated:

Mesh panel - mesh size 200 x 50/20mm - 5mm horizontal wire, 4mm vertical wire.
 Post size 60 x 60mm SHS. Plastic cap 60 x 60mm.
 M8 x 30 stainless steel security screw.
 Triangular folds - 2, 3, 4 or 5 per panel (depending on height).
 Durable Plastic Clip, or can be substituted for a metal clip.
 Holes for additional inserts top and bottom for stepping purposes.
 Height is to be ~2.4m.

All pedestrian gates to have push pad for emergency escape to facilitate rapid exit through gates. A security shroud should also be fitted to prevent access to the push pad from the outside.



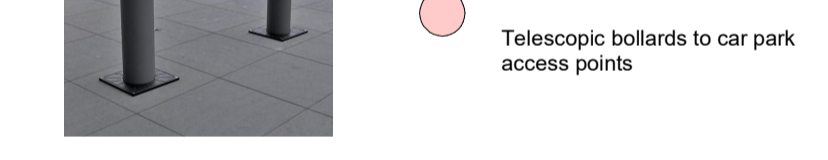
1.1m (min.) high Timber Post & Rail Fence



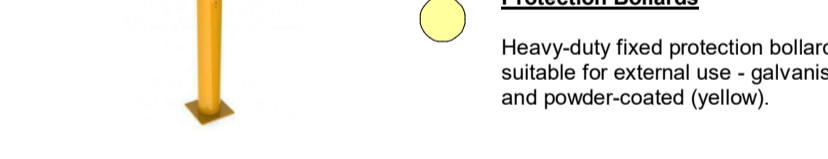
Timber Knee Rail



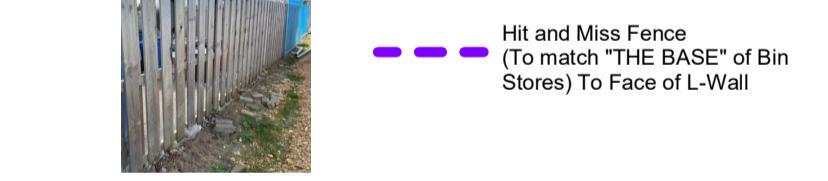
Trief Kerb



Car Park Entrance Protection
 Telescopic bollards to car park access points



Protection Bollards
 Heavy-duty fixed protection bollards, suitable for external use - galvanised and powder-coated (yellow).



Hit and Miss Fence
 (To match 'THE BASE' of Bin Stores) To Face of L-Wall

SITE FURNITURE KEY

Bin Enclosure
 Close boarded treated timber fence, stained dark grey. To be fixed to treated timber softwood rails and posts. Posts to receive a galvanised steel base and to be fixed to service yard slab. Height: 2000mm, with gap at the bottom of 100mm.

Size: (to meet BREEM requirements) minimum 10.0m² for 4No. Eurobins.

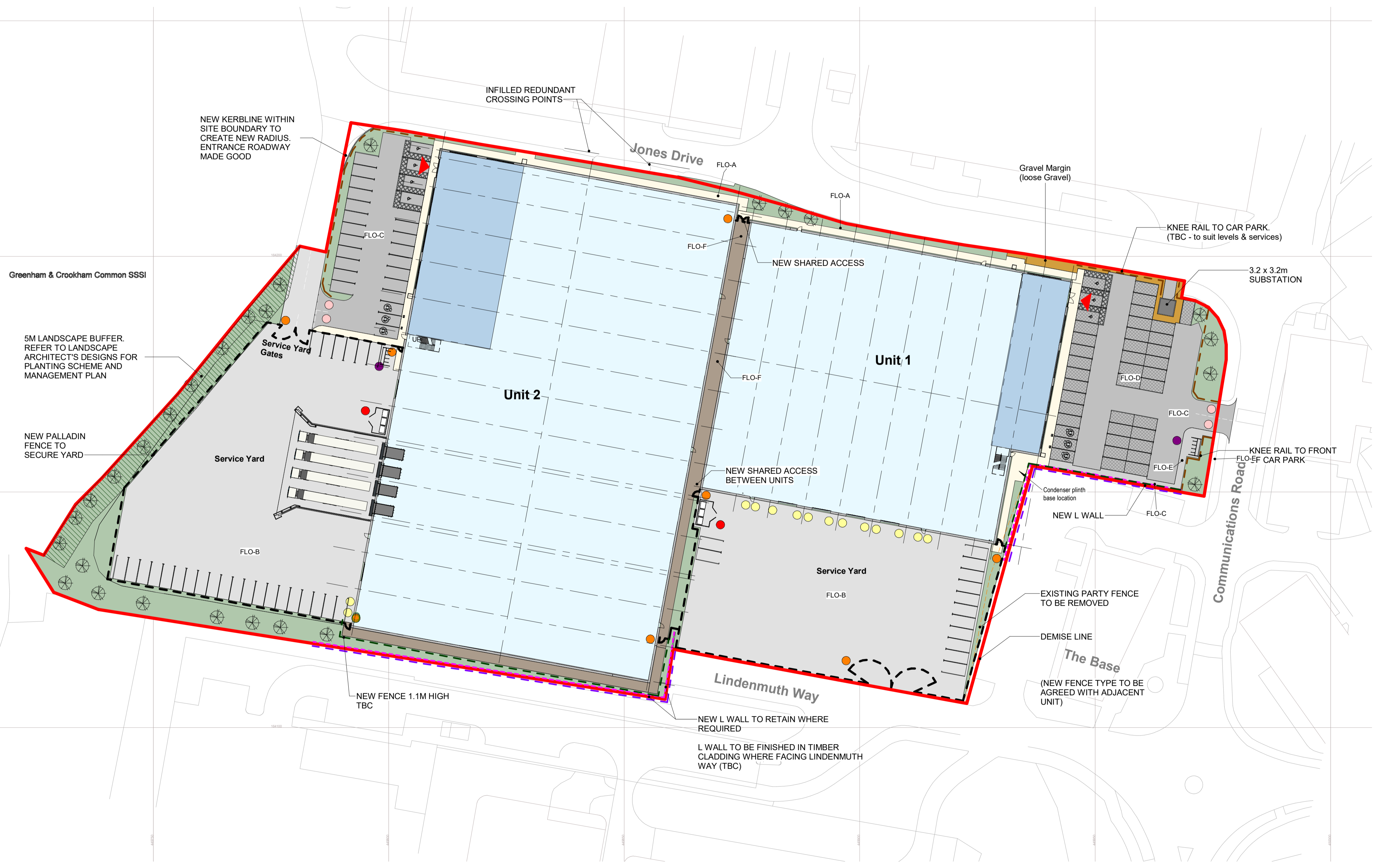
Cycle Shelters

SURFACE MATERIALS KEY

- Ownership Boundary
- Soft Landscaping
- Block Paving - FLO-A
- Concrete Service Yard - FLO-B
- Tarmac Road - FLO-C
- Permeable Block Paving - FLO-D
- Tarmac Footpath - FLO-E
- Bonded Gravel - FLO-F
- Loose Gravel - FLO-G

Floor Schedule (Totals)

Type Mark	Description
FLO-A	Block Paving
FLO-B	Concrete Service Yard
FLO-C	Tarmac, Vehicular traffic & Parking
FLO-D	Permeable Block Paving
FLO-E	Tarmac Footpaths
FLO-F	Bonded Gravel
FLO-G	Loose Gravel Margin



C05	Minor body treatments/finishes amends	SS	02.02.23
C04	Sub-station Information	SS	05.12.22
C03	Boundary Treatments updated	GN	23.11.22
C02	Site update & Push pad note added	SS	07.10.22
C01	Full Construction Issue	SS	09.09.22
P10	Construction Issue with Site amends	SS	09.09.22
P9	General update, Contract Issue.	SS	24.06.22
P8	PLANNING ISSUE. Notes amended as required by Planning.	AAL	01.06.22
P7	L Retaining walls indicated and general revisions	AAL	18.05.22
P6	Boundary treatments revised	AAL	28.04.22
P5	Minor site feature amendment for HGV tracking	SS	06.04.22
P4	Tender Issue	BE	24.01.22
P3	Update Issue	BC	14.12.21
P2	Scale Note Amended	BC	13.12.21
P1	Planning Issue	BE	19.11.21

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Client
 GP Developments (Newbury) Limited

Project
 Greenham Business Park
 Newbury

Drawing Title
 Boundary Treatment / Hard Landscaping Plan

Status Purpose of Issue
B PARTIALLY SIGNED-OFF

Drawn by BE Created 19.11.21

C4 Job no. 21-012 Scale As indicated @ A1

Dwg no.	Rev
21012-C4P-AV-ZZ-DR-A-0501	C05

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Area Schedule (GIA)			
Number	Name	Area	
		Metric	Imperial
U1 Level 0			
Unit 1	GF GIA	3,820.13 m ²	41,120 ft ²
Unit 1	FF GIA	370.17 m ²	3,985 ft ²
Grand total:	2	4,190.30 m ²	45,104 ft ²

Room Internal Area Schedule			
Name	Areas		
	Metric	Imperial	
U1 Level 0			
Acc WC	5.54 m ²	60 ft ²	
Cleaner	3.18 m ²	34 ft ²	
Entrance Lobby	54.83 m ²	590 ft ²	
Warehouse	3,747.69 m ²	40,340 ft ²	
4	3,811.24 m ²	41,024 ft ²	
Level 1			
Boardroom	32.33 m ²	348 ft ²	
Lobby	13.81 m ²	149 ft ²	
Office	299.99 m ²	3,229 ft ²	
WC	2.51 m ²	27 ft ²	
WC	2.50 m ²	27 ft ²	
5	351.14 m ²	3,780 ft ²	

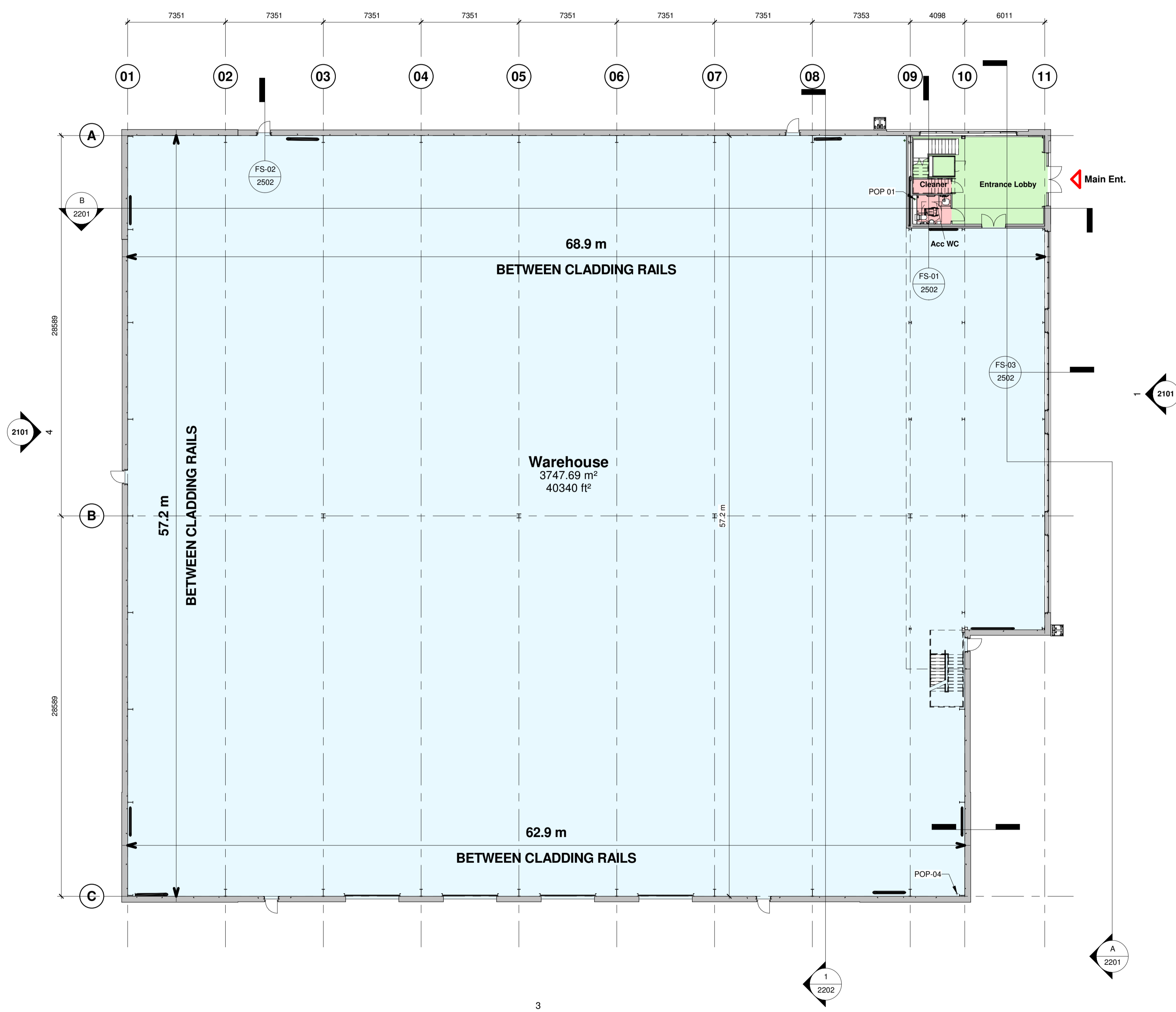
Hazard Identification		
ref	hazard	date

PROJECT NOTES

- Design information indicated on this drawing is to be used solely for **COORDINATION** purposes.
- Development proposals are to be read in conjunction with all referenced drawings and documents.
- Soft Landscaping shown is indicative, refer to Landscape Architect design for full details.
- Any proposed levels are indicative and subject to change to suit Engineer

Gross Internal Area (GIA) Requirements

- Development proposals comprise of the following GIA accommodation. Check measurements will be recorded as listed below and as depicted on the floor plans.
Warehouse Area: Dimensions taken to inside face of the sheeting rails.
Office: Dimensions taken to internal finished faces of perimeter wall linings.
- For contractual requirements on building areas and schedule of minimum GIA'S refer to the "Employers requirements" document.
- GIA dimensions on this drawing are target value only. **Employers requirements** to achieve minimum GIA accommodation shall **take precedence**.
- The contractor's designers are to provide 'measurement Plans' for employer approval. These shall confirm how GIA requirements will be achieved.
- ALL dimensions indicated are subject to change during detailed design of structural steel frame and building envelope systems. Full coordination required with all relevant sub- contractors / specialists.



By Department Legend

- Circulation
- Sanitary
- Warehouse

C01	Full Construction Issue	AW	13.09.22	SS
P12	Construction Issue	SS	01.08.22	
P11	Fabrication model co-ordination update	SS	26.07.22	
P10	General update, Contract Issue.	A.AL	28.06.22	SS
P9	PLANNING ISSUE, Notes amended as required by Planning.	A.AL	01.06.22	SS
P8	Minor structural co-ordination	SS	24.05.22	
P7	Layout & Areas updated.	A.AL	19.05.22	SS
P6	SE Co-ordination and Specifications Update.	A.AL	27.04.22	SS
P5	Unit Size Revised.	A.AL	21.04.22	SS
P4	Tender Issue	BE	24.01.22	DC
P3	Scale Note Amended	BC	13.12.21	DC
P2	GIA updated	BE	06.12.21	DC
P1	First Issue of Drawing	BE	16.11.21	DC

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Client
GP Developments (Newbury) Limited

Project
New Industrial Units
Newbury

Drawing Title
Unit 1 - Building GA Plan (Level 00)

Status Purpose of Issue
B PARTIALLY SIGNED-OFF

Drawn by BE Created 04.11.21
C4 Job no. 21012 Scale As indicated @ A1

Dwg no. 21012-C4P-V1-ZZ-DR-A-2001 Rev C01

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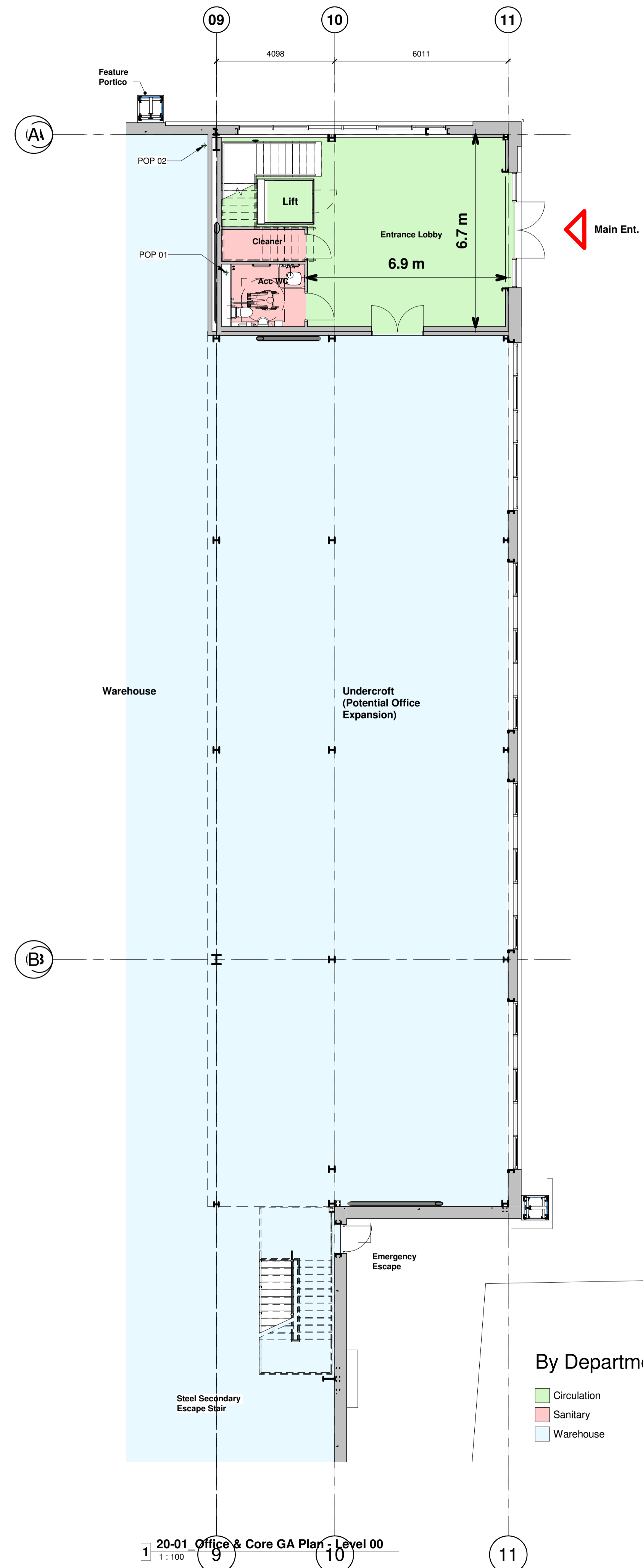
Hazard Identification		
ref	hazard	date

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Gross Internal Area (GIA) Requirements

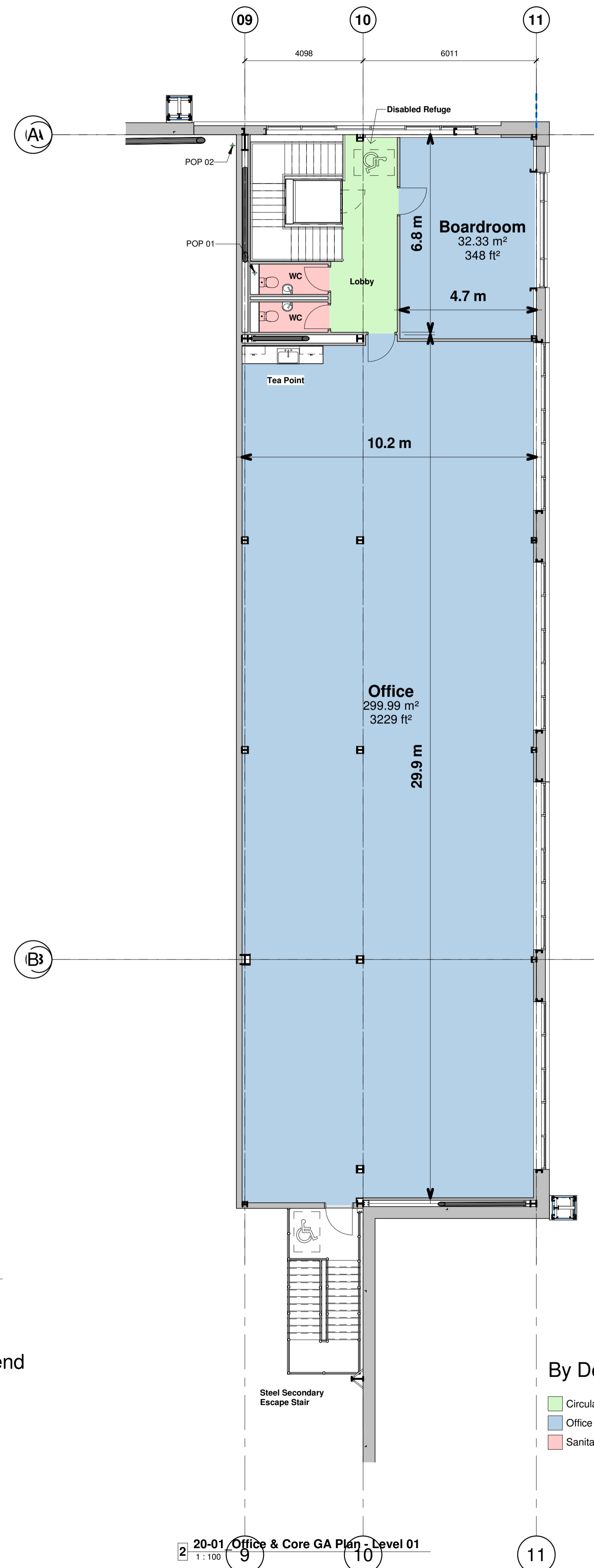
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- The contractor's designers are to provide 'measurement Plans' for employer approval. These shall confirm how GIA requirements will be achieved.
- ALL dimensions indicated are subject to change during detailed design of structural steel frame and building envelope systems. Full coordination required with all relevant sub-contractors / specialists.



20-01 Office & Core GA Plan - Level 00
1:100

By Department Legend

- Circulation
- Sanitary
- Warehouse



20-01 Office & Core GA Plan - Level 01
1:100

By Department Legend

- Circulation
- Office
- Sanitary

C01	Full Construction Issue	AW	13.09.22	SS
P8	Construction Issue	SS	01.08.22	
P7	General update. Contract Issue.	A.AL	28.06.22	SS
P6	PLANNING ISSUE. Notes amended as required by Planning	A.AL	01.06.22	SS
P5	POP ups indicated		25.05.22	
P4	Drawing naming correction.	SS	25.05.22	
P3	Minor structural co-ordination	SS	24.05.22	
P2	Layout & Areas updated.	A.AL	19.05.22	SS
P1	First Issue	SS	02.05.22	

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Client
GP Developments (Newbury) Limited

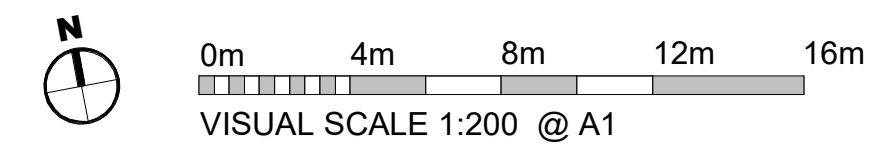
Project
New Industrial Units
Newbury

Drawing Title
Unit 1 - Office & Core GA Plans (Levels 00 & 01)

Status Purpose of Issue
B PARTIALLY SIGNED-OFF

Drawn by SS Created 02.05.22
C4 Job no. 21012 Scale As indicated @ A1

Dwg no.	Rev
21012-C4P-V1-ZZ-DR-A-2002	C01



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Rooflight Schedule	
Rough Height	Width
12000	1000
60	

Hazard Identification		
ref	hazard	date

- PROJECT NOTES**
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 - Any proposed levels are indicative and subject to change to suit Engineer.

U-VALUES, AIR PERMEABILITY & TESTING

U-VALUES
 Please refer to BRUKL calculations for further information

Calculate area-weighted average U-values
 External Walls 0.26 W/m²K
 Party Walls 0.26 W/m²K
 Ground Floor 0.22 W/m²K
 Roof 0.23 W/m²K
 External Personnel Doors 2.2 W/m²K
 Windows 1.6 W/m²K
 Curtain Wall 1.6 W/m²K
 Roller Shutters 1.5 W/m²K

AIR PERMEABILITY AND PRESSURE TESTING
 Reasonable provision shall be made to ensure the building is constructed to minimise unwanted air leakage through the new building fabric.
 The measured air permeability to be in compliance with the Target CO2 Emission Rate (TER) design limits.
 Air Permeability 5 m³/(hxm²) at 50 Pa
 All buildings above 500 m² of total useful floor area must be subject to pressure testing

ADDITIONAL NOTES:
 Only non-combustible materials are to be used on the building envelope

C01	Full Construction Issue	AW	13.09.22	SS
P7	Construction Issue	SS	01.08.22	
P6	General update: Contract Issue	A.AL	28.06.22	SS
P5	PLANNING ISSUE: Notes amended as required by Planning	A.AL	01.06.22	SS
P4	Unit size revised. Roof u-value and spec updated.	A.AL	24.05.22	SS
P3	Tender Issue	BE	24.01.22	DC
P2	Scale Note Amended	BC	13.12.21	DC
P1	First Issue of Drawing	BE	16.11.21	DC

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Client
 GP Developments (Newbury) Limited

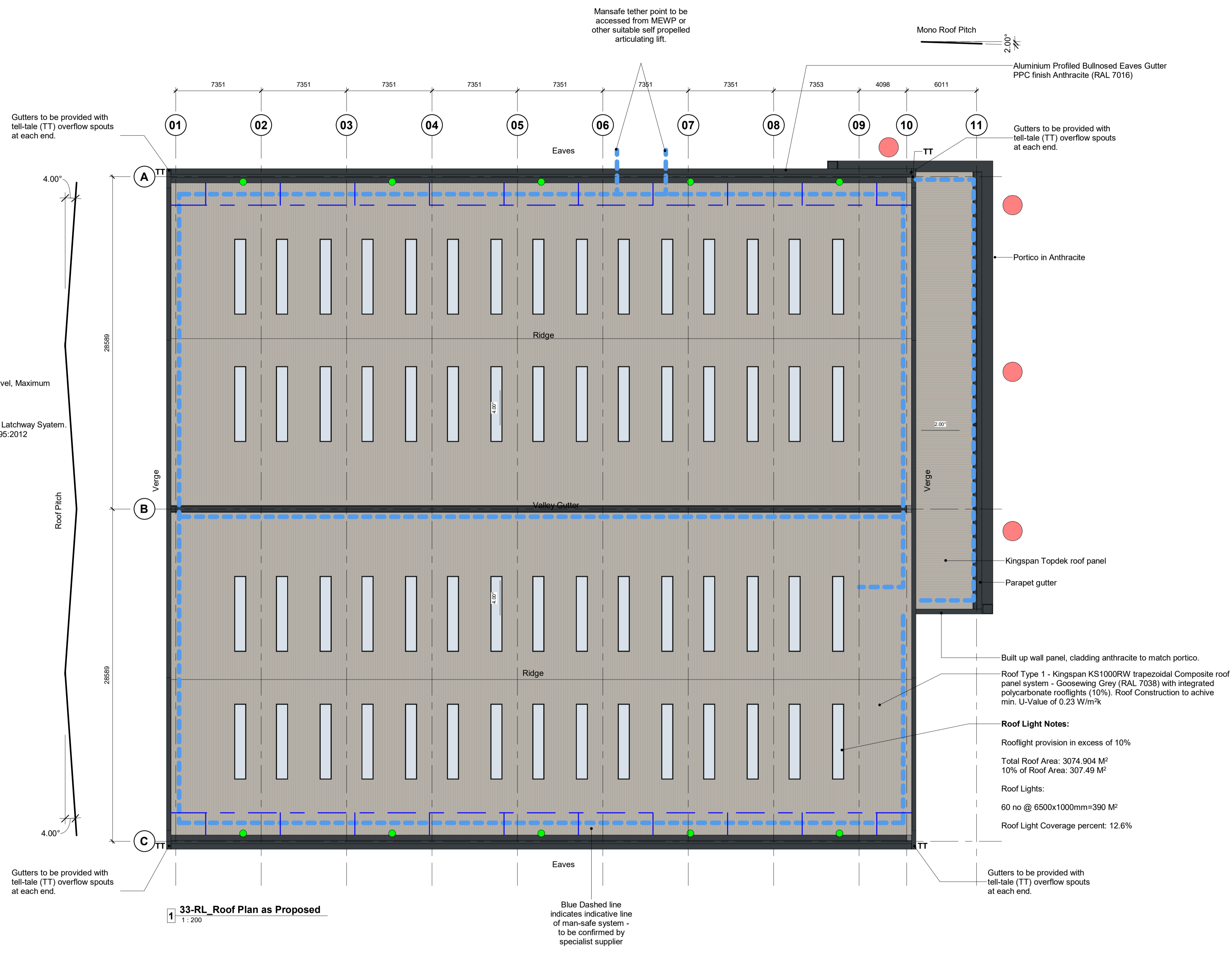
Project
 New Industrial Units
 Newbury

Drawing Title
 Unit 1 - Roof Plan as Proposed

Status Purpose of Issue
B PARTIALLY SIGNED-OFF

Drawn by	BE	Created	04.11.21
C4 Job no.	21012	Scale	As indicated @ A1

Dwg no.	Rev
21012-C4P-V1-RL-DR-A-3301	C01



Building Fabric Materials Schedule

- 1 Wall Type 1 - Vertical plank pattern (180mm wide) secret-fixed steel cladding panels typc in White Aluminium (RAL 9006) on insulated composite cladding carrier panel.
- 2 Wall Type 2 - Built-up metal Cladding (twin skinned, insulated) Vertical Trapezoidal profile - Grey Aluminium (RAL 9007)
- 3 Wall Type 3 - Built-up metal Cladding (twin skinned, insulated) Horizontal Trapezoidal profile -White Aluminium (RAL 9006)
- 4 Wall Type 4 - Built-up metal Cladding (twin skinned, insulated) Horizontal Trapezoidal profile -Anthracite (RAL 7016)
- 5 Wall Type 5 - Pressed Aluminium Sheetting Flat Profile (twin skinned, insulated), PPC finish Anthracite (RAL 7016) Signage by occupier
- 6 Wall Type 6 - Microrib finish cladding panels to feature surround portico fascia and column fronts and sides, with flat plank-pattern panels to portico soffit. All elements to have PPC finish in Anthracite (RAL 7016)
- 7 Wall Type 7 - Aluminium Curtain Wall stick frame system PPC Anthracite (RAL 7016) framing, double glazed infills (solar control)
- 8 Integrated feature louvre profile cladding panels in Anthracite (RAL 7016) between glazed elements of ribbon windows
- 9 Double glazed aluminium ribbon window system PPC Anthracite (RAL 7016)
- 10 Roof Type 1 - Composite roof panel system - Goosewing Grey (RAL 7038) with integrated polycarbonate rooflights (10%)
- 11 Feature recessed flashing detail in Anthracite (RAL 7016)

- A Operational Door - Level Access Sectional insulated shutter, plastisol coated finish, Anthracite (RAL 7016)
- B Personnel Access / Escape doorset - Warehouse Galvanised steel, thermally insulated core, PPC Anthracite (RAL 7016)
- C Aluminium Profiled Bulbosed Eaves Gutter PPC finish Anthracite (RAL 7016)
- D Glazed Canopy above entrance by specialist contractor

Note:
Internal Siphonic Drainage System to be installed.
Maximum roof height to be no more than 14m.
Portal Frame to be pre-set in fabrication to 4degrees.

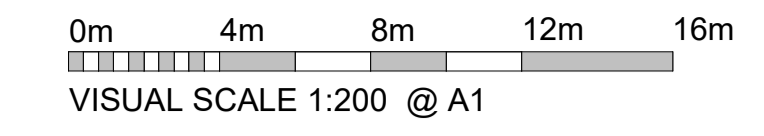
U-VALUES, AIR PERMEABILITY & TESTING

U-VALUES
Please refer to BRUKL calculations for further information

Calculate area-weighted average U-values
(N.B. Actual U Values may exceed these target values)
External Walls 0.26 W/m²K
Party Walls 0.26 W/m²K
Ground Floor 0.22 W/m²K
Roof 0.23 W/m²K
External Personnel Doors 2.2 W/m²K
Windows 1.6 W/m²K
Curtain Wall 1.6 W/m²K
Roller Shutters 1.5 W/m²K

AIR PERMEABILITY AND PRESSURE TESTING
Reasonable provision shall be made to ensure the building is constructed to minimise unwanted air leakage through the new building fabric.
The measured air permeability to be in compliance with the Target CO2 Emission Rate (TER) design limits.
Air Permeability 5 m³/(hxm²) at 50 Pa
All buildings above 500 m² of total useful floor area must be subject to pressure testing

ADDITIONAL NOTES:
Only non-combustible materials are to be used on the building envelope



Drawing Status
CONSTRUCTION

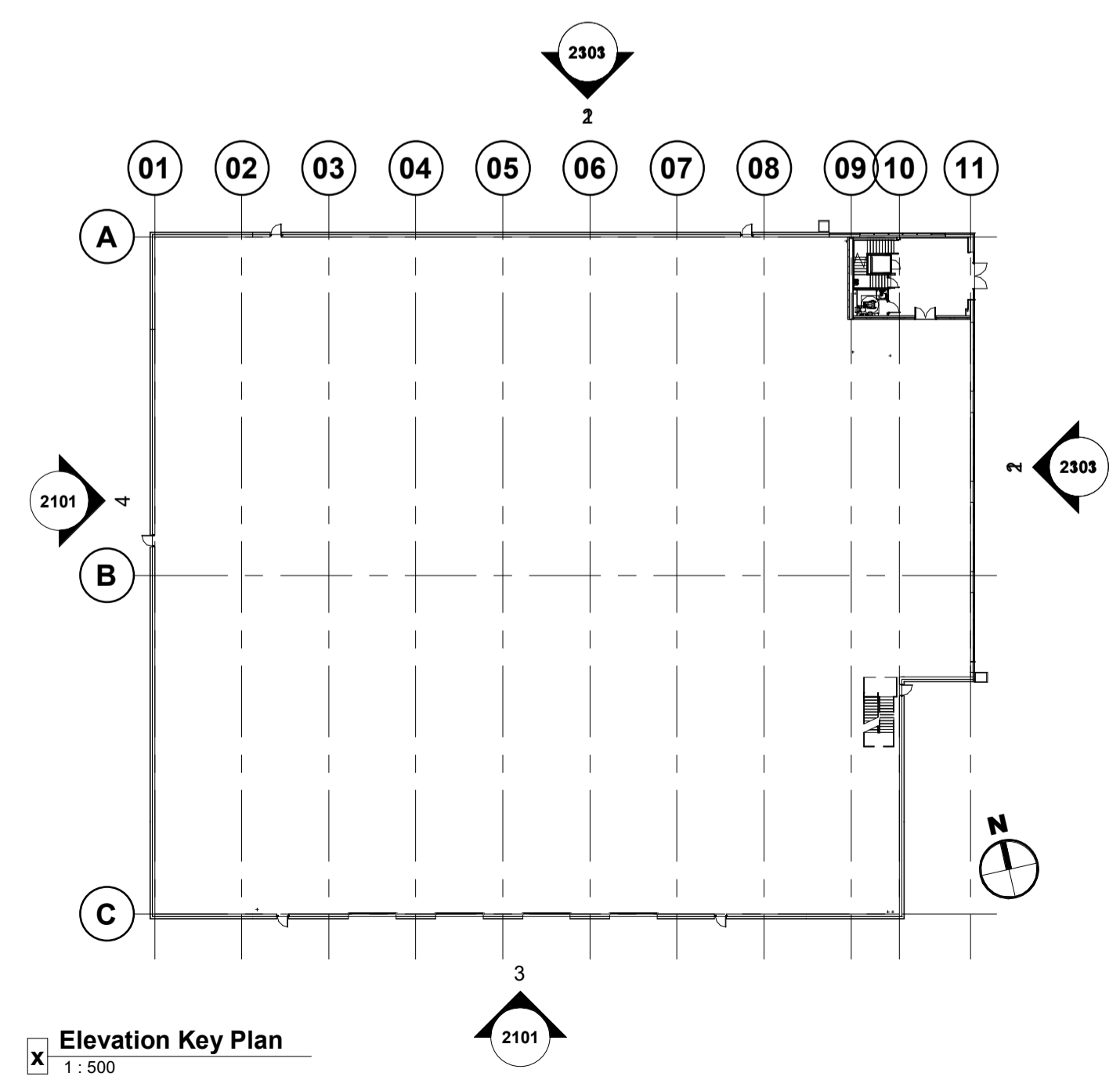
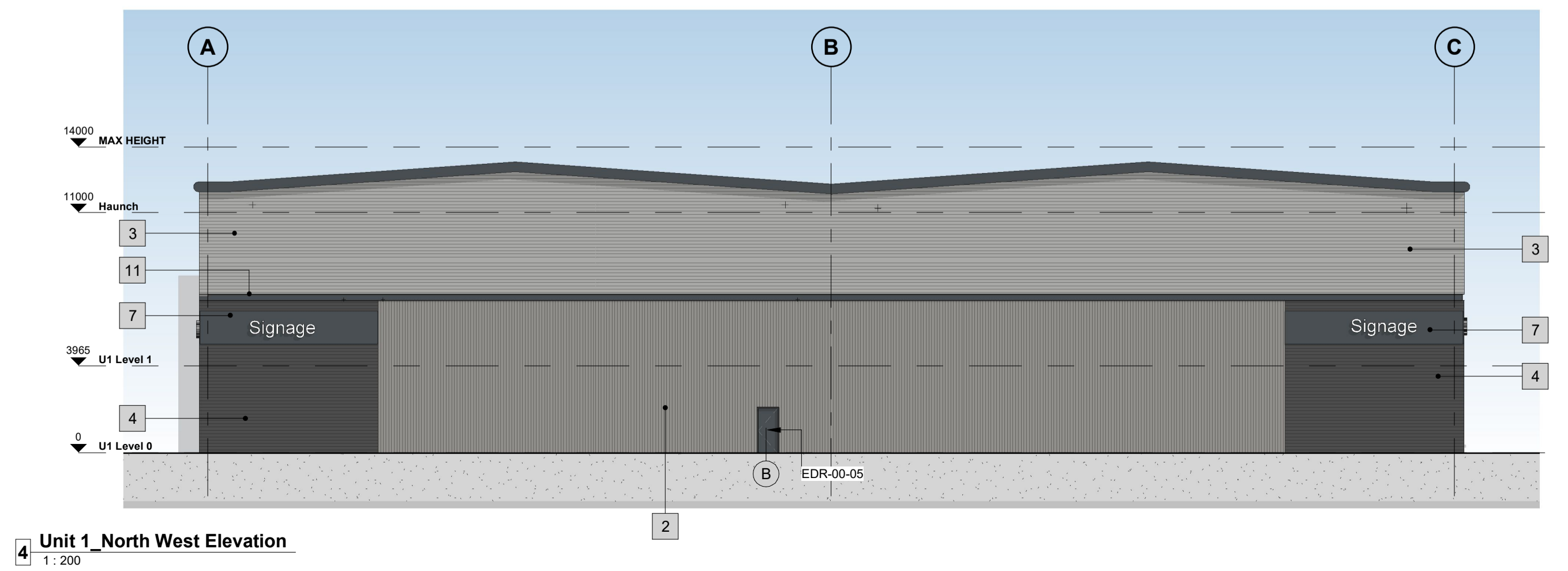
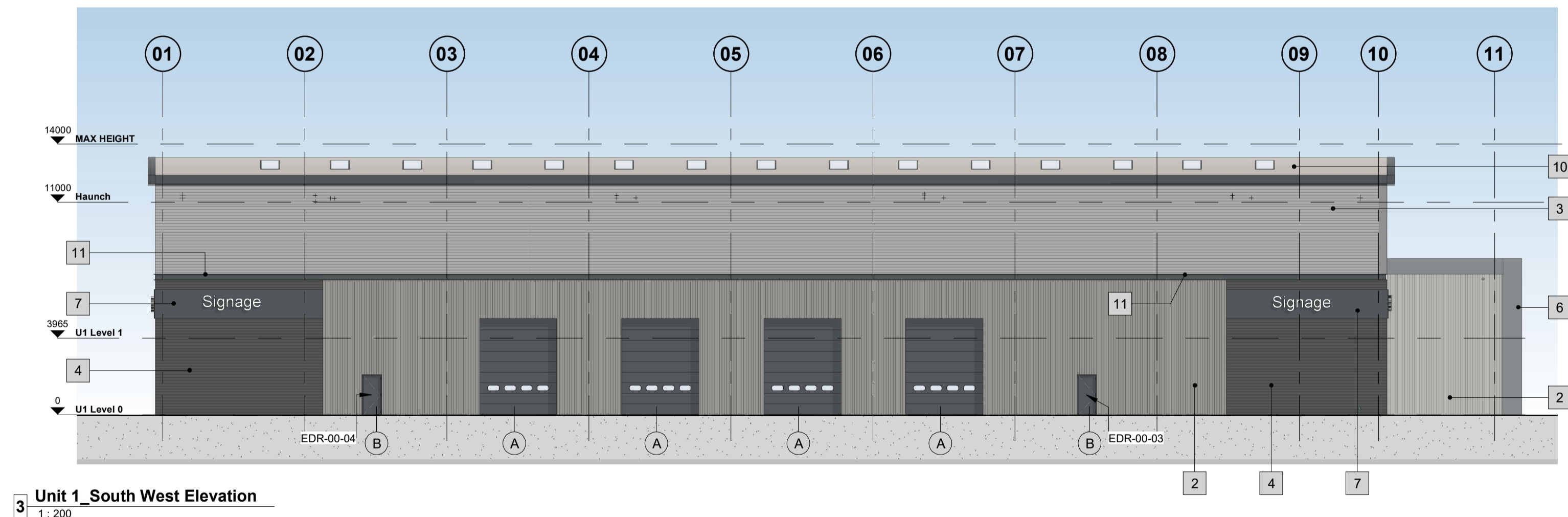
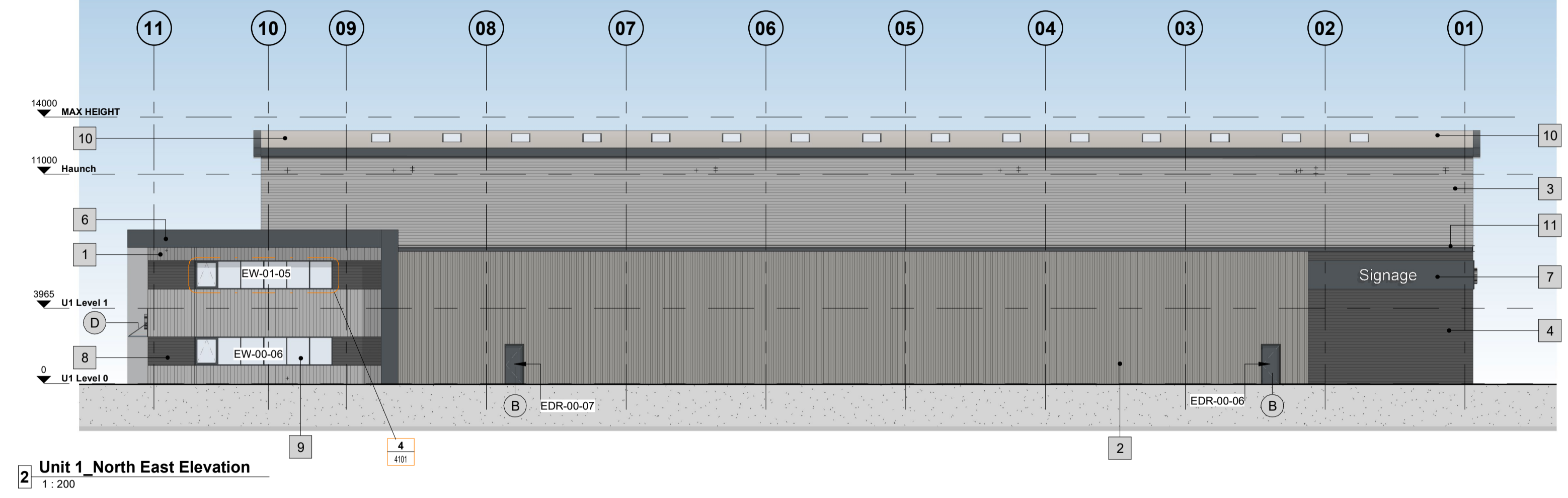
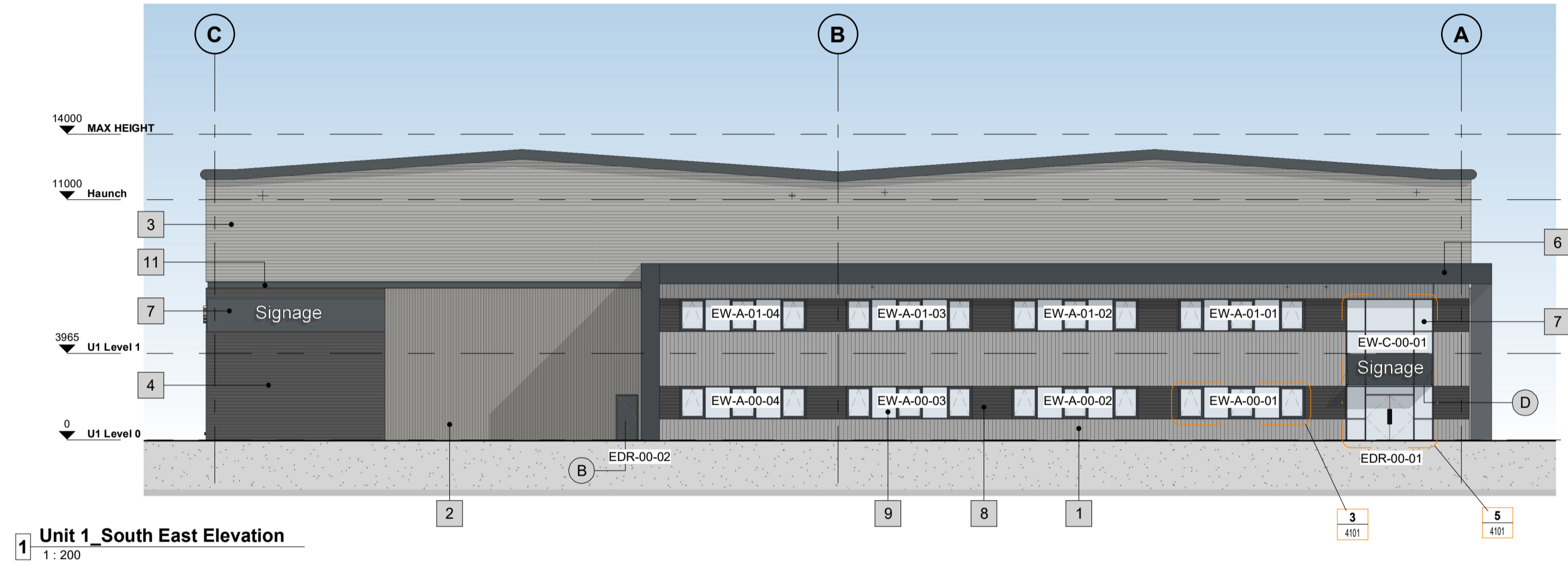
- PROJECT NOTES**
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 - Any proposed levels are indicative and subject to change to suit Engineered solution. Refer to Civil Engineer's designs.

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ref	hazard	date



C03	Cladding updated per client requirements	SS	26.01.23	
C02	First Floor Slab Height Updated	GN	18.11.22 SS	
C01	Full Construction Issue	AW	13.09.22 SS	
P8	Construction Issue	SS	01.08.22	
P7	General update. Contract Issue.	A.AL	28.06.22 SS	
P6	PLANNING ISSUE. Notes amended as required by Planning.	A.AL	01.06.22 SS	
P5	SE Co-ordination and Specifications Update.	A.AL	27.04.22 SS	
P4	Elevations Updated.	A.AL	21.04.22 SS	
P3	Tender Issue	BE	24.01.22 DC	
P2	Scale Note Amending	BC	13.12.21 DC	
P1	First Issue of Drawing	BE	16.11.21 DC	
Rev	Revision Details	Drawn	Date	Checked

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Client
GP Developments (Newbury) Limited

Project
New Industrial Units Newbury

Drawing Title
Unit 1 - Elevations as Proposed

Status Purpose of Issue
B PARTIALLY SIGNED-OFF

Drawn by BE **Created** 04.11.21

C4 Job no. 21012 **Scale** As indicated **@ A1**

Dwg no. 21012-C4P-V1-ZZ-DR-A-2101 **Rev** C03

Building Fabric Materials Schedule

- 1 Wall Type 1 - Built-up metal Cladding (twin skinned, insulated) Western Red Cedar Finish
- 2 Wall Type 2 - Built-up metal Cladding (twin skinned, insulated) Vertical Trapezoidal profile - Grey Aluminium (RAL 9007)
- 3 Wall Type 3 - Built-up metal Cladding (twin skinned, insulated) Horizontal Trapezoidal profile -White Aluminium (RAL 9006)
- 4 Wall Type 4 - Aluminium Curtain Wall stick frame system PPC Anthracite (RAL 7016) framing, double glazed infills (solar control)
- 5 Wall Type 5 - Pressed Aluminium Sheeting Flat Profile (twin skinned, insulated), PPC finish Anthracite (RAL 7016) Signage by occupier
- 6 Wall Type 6 - Pressed Aluminium Sheeting to Feature Surround Flat faced panels (uninsulated), open joints, PPC finish Anthracite (RAL 7016)
- 7 Feature recessed detail flashing Anthracite (RAL 7016)
- 8 Integrated timber louvre system - to match timber cladding
- 9 Double glazed aluminium ribbon window system PPC Anthracite (RAL 7016)
- 10 Roof Type 1 - Composite roof panel system - Goosewing Grey (RAL 7038) with integrated polycarbonate rooflights (10%)

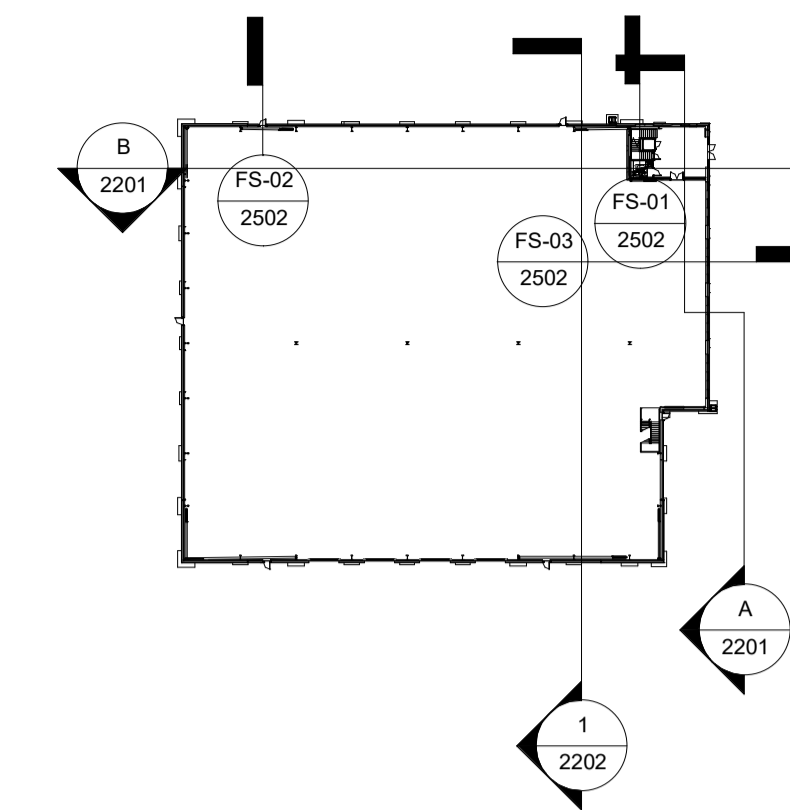
- A Operational Door - Level Access Sectional insulated shutter, plastisol coated finish, Anthracite (RAL 7016)
- B Personnel Access / Escape doorset - Warehouse Galvanised steel, thermally insulated core, PPC Anthracite (RAL 7016)
- C Aluminium Profiled Bullnosed Eaves Gutter PPC finish Anthracite (RAL 7016)
- D Glazed Canopy above entrance.

Note: Internal Siphonic Drainage System to be installed Maximum roof height to be no more than 14m

Portal Frame to be pre-set in fabrication to 4degrees.

0m 2m 4m 6m 8m

VISUAL SCALE 1:100 @ A1



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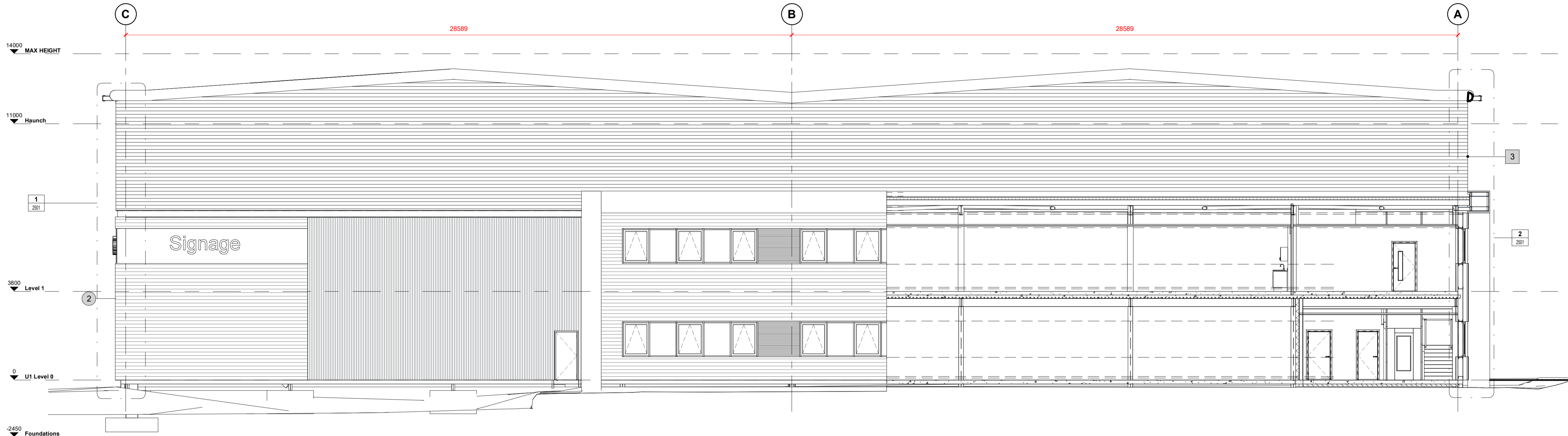
Hazard Identification		
ref	hazard	date

PROJECT NOTES

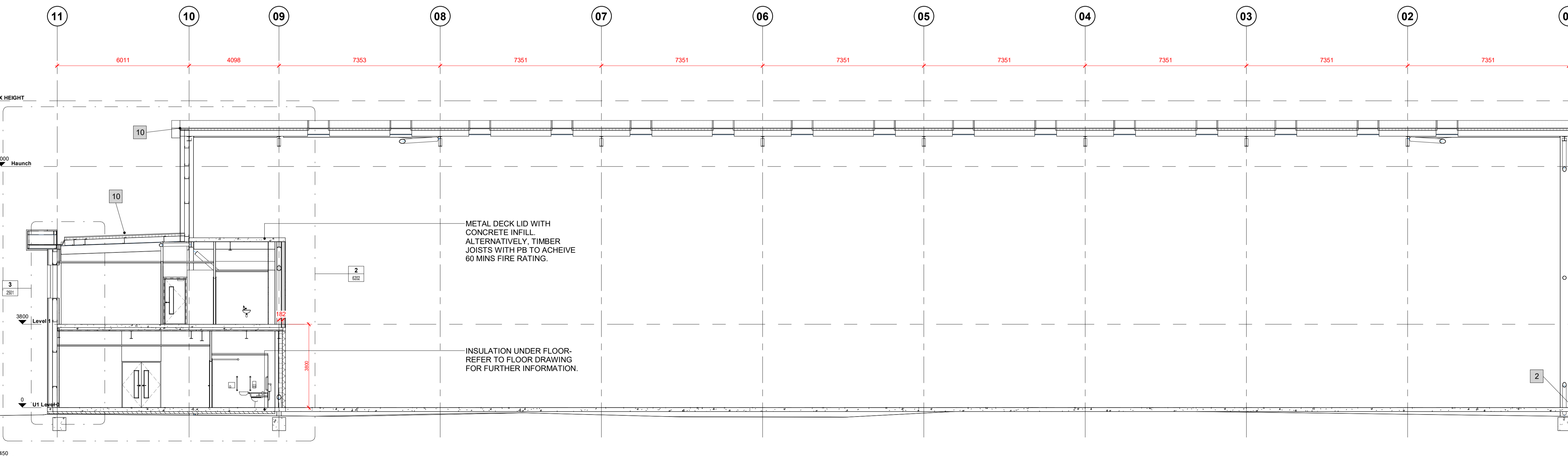
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U-VALUES, AIR PERMEABILITY & TESTING

U-VALUES
 Please refer to BRUKL calculations for further information
Calculate area-weighted average U-values
 External Walls 0.26 W/m²K
 Party Walls 0.26 W/m²K
 Ground Floor 0.22 W/m²K
 Roof 0.23 W/m²K
 External Personnel Doors 2.2 W/m²K
 Windows 1.6 W/m²K
 Curtain Wall 1.6 W/m²K
 Roller Shutters 1.5 W/m²K
AIR PERMEABILITY AND PRESSURE TESTING
 Reasonable provision shall be made to ensure the building is constructed to minimise unwanted air leakage through the new building fabric. The measured air permeability to be in compliance with the Target CO2 Emission Rate (TER) design limits.
 Air Permeability 5 m³/(hxm²) at 50 Pa
 All buildings above 500 m² of total useful floor area must be subject to pressure testing
ADDITIONAL NOTES:
 Only non-combustible materials are to be used on the building envelope



SECTION A
1:100



SECTION B
1:100

C01	Full Construction Issue	AW	13.09.22	SS
P7	Construction Issue	SS	01.08.22	
P6	General update, Contract Issue.	A.AL	28.06.22	SS
P5	Note added Portal frame to be pre-set in fabrication to 4 degrees.	A.AL	27.05.22	
P4	Minor structural co-ordination	SS	24.05.22	
P3	SE model indicated	SS	20.05.22	
P2	SE Co-ordination and Specifications Update.	A.AL	27.04.22	SS
P1	Tender Issue	BE	24.01.22	DC

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Client
 GP Developments (Newbury) Limited

Project
 New Industrial Units
 Newbury

Drawing Title
 Unit 1 - GA Sections as Proposed

Status Purpose of Issue
B PARTIALLY SIGNED-OFF

Drawn by BE Created 11.01.22

C4 Job no. 21012 Scale As indicated @ A1

Dwg no. 21012-C4P-V1-ZZ-DR-A-2201 Rev C01

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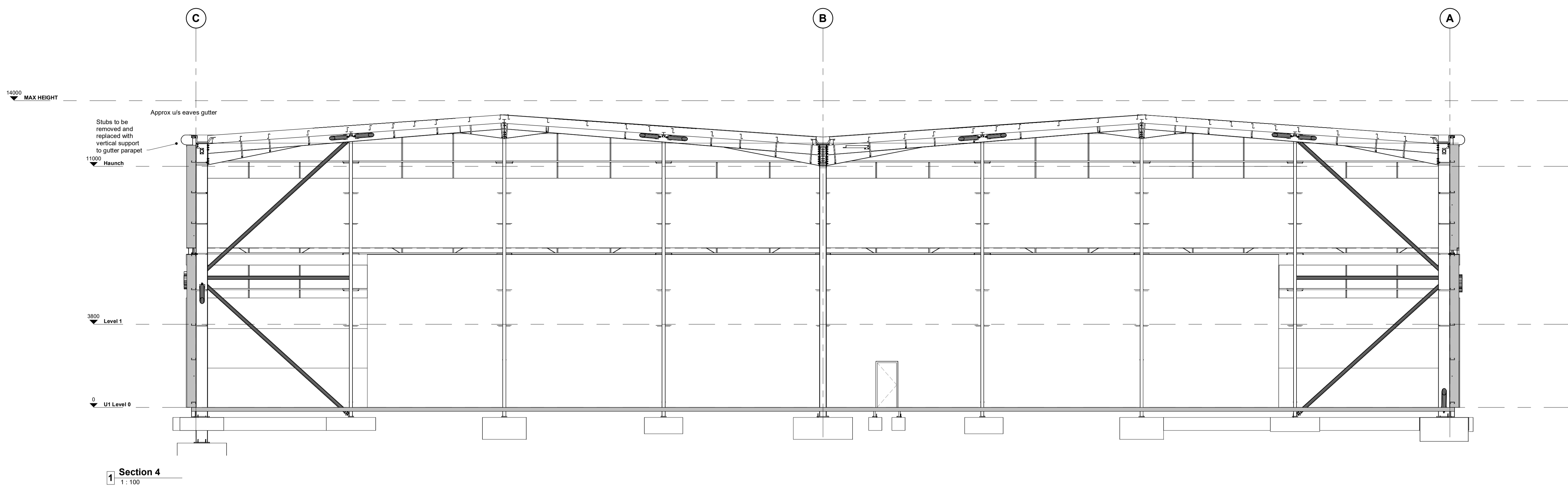
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Hazard Identification		
ref	hazard	date

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 - Any proposed levels are indicative and subject to change to suit Engineer

- REFERENCE DRAWINGS**
- Architectural 21017-C4P-;
- Refer to 01 Series for Existing Site
Refer to 04 Series for Proposed Masterplan Site
Refer to 05 Series for Proposed Site
Refer to 86 Series for Proposed Site Demises
- Refer to 20 Series for Building GA Plans
Refer to 21 Series for Building GA Elevations
Refer to 22 Series for Building GA Sections
Refer to 23 Series for Setting Out
Refer to 24 Series for RCPs
Refer to 25 Series for Detailed Sections
Refer to 30 Series for Floor Types
Refer to 32 Series for Internal Partitions
Refer to 33 Series for Roof Plan
Refer to 34 Series for Main Staircase and Secondary Escape Stair
Refer to 40 Series for Proposed Curtain Wall and Ribbon Windows
Refer to 42 Series for Glazed Entrance Canopy Details
Refer to 43 Series for External Door Schedules
Refer to 44 Series for Internal Door Schedules
Refer to 50 Series for Finishes Plans
Refer to 62 Series for Fire Strategy
Refer to 71 Series for Accessible WC (Typical)
Refer to 72 Series for Office Tea Point



1 Section 4
1:100

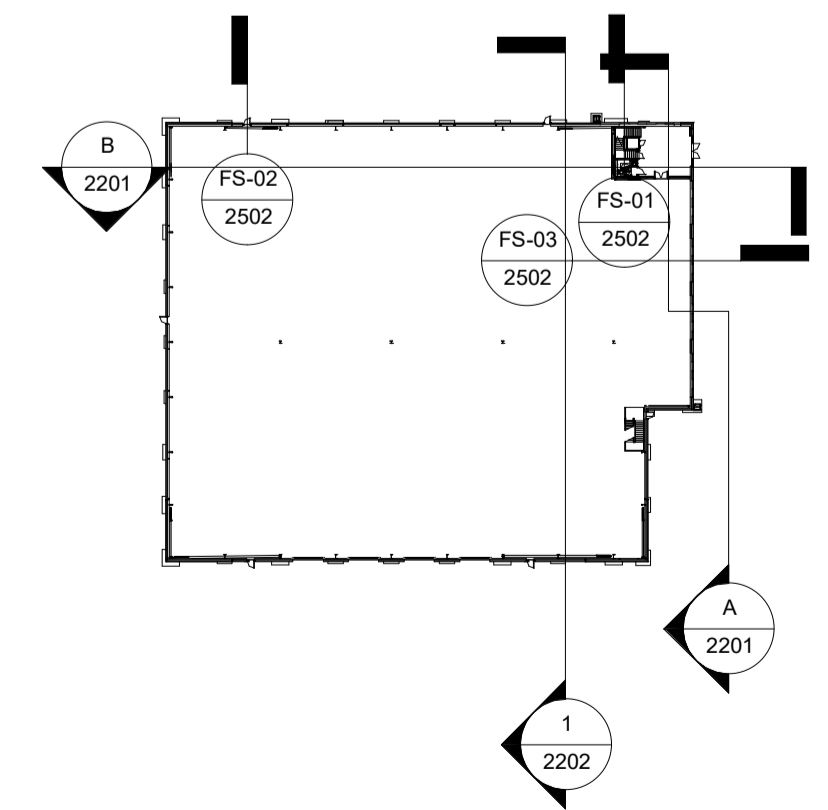
U-VALUES, AIR PERMEABILITY & TESTING

U-VALUES
Please refer to BRUKL calculations for further information

- Calculate area-weighted average U-values
- External Walls 0.26 W/m²K
 - Party Walls 0.26 W/m²K
 - Ground Floor 0.22 W/m²K
 - Roof 0.23 W/m²K
 - External Personnel Doors 2.2 W/m²K
 - Windows 1.6 W/m²K
 - Curtain Wall 1.6 W/m²K
 - Roller Shutters 1.5 W/m²K

AIR PERMEABILITY AND PRESSURE TESTING
Reasonable provision shall be made to ensure the building is constructed to minimise unwanted air leakage through the new building fabric. The measured air permeability to be in compliance with the Target CO2 Emission Rate (TER) design limits.
Air Permeability 5 m³/(h·m²) at 50 Pa
All buildings above 500 m² of total useful floor area must be subject to pressure testing

ADDITIONAL NOTES:
Only **non-combustible** materials are to be used on the building envelope



2 Key Plan Sections
1:1000

Rev	Revision Details	Drawn	Date	Checked
C01	Full Construction Issue	AW	13.09.22	SS
P2	Construction Issue	SS	01.08.22	SS
P1	General update. Contract Issue.	A.AL	28.06.22	SS

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Client
GP Developments (Newbury) Limited

Project
New Industrial Units
Newbury

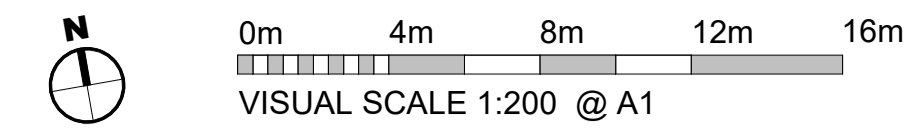
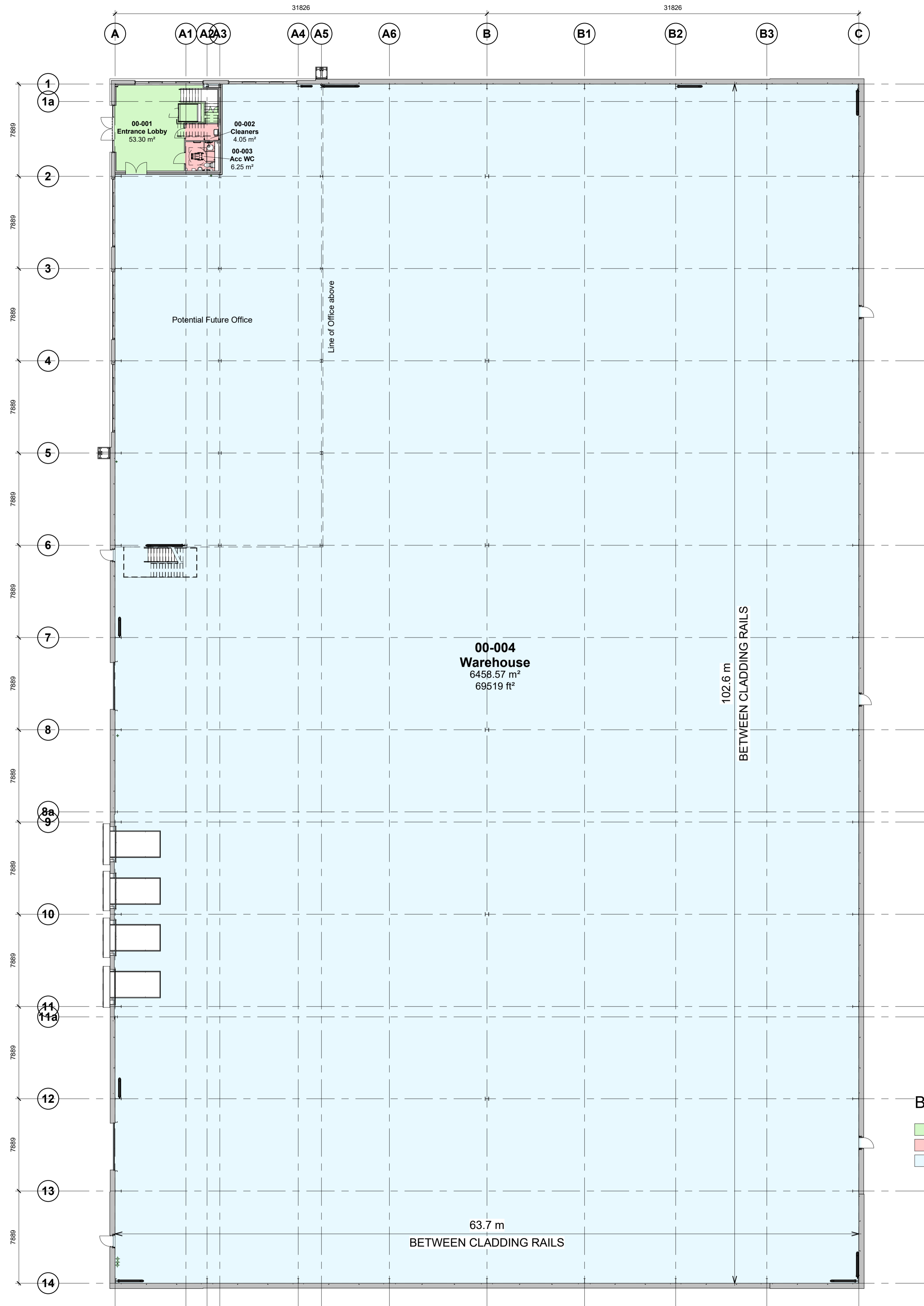
Drawing Title
Unit 1 - GA Sections (Sheet 2)

Status Purpose of Issue
B PARTIALLY SIGNED-OFF

Drawn by SS **Created** 23.06.22

C4 Job no. 21012 **Scale** As indicated **@** A1

Dwg no.	Rev
21012-C4P-V1-ZZ-DR-A-2202	C01



Area Schedule (GIA)			
Number	Name	Area	
		Metric	Imperial
Level 0			
Unit 2	GF GIA	6,528.05 m ²	70,267 ft ²
1		6,528.05 m ²	70,267 ft ²
Level 1			
Unit 2	FF GIA	685.53 m ²	7,379 ft ²
1		685.53 m ²	7,379 ft ²

Room Internal Area Schedule			
Name	Areas		
	Metric	Imperial	
Not Placed			
Room	Not Placed	0 ft ²	
Level 0			
Entrance Lobby	53.30 m ²	574 ft ²	
Cleaners	4.05 m ²	44 ft ²	
Acc WC	6.25 m ²	67 ft ²	
Warehouse	6,458.57 m ²	69,519 ft ²	
4	6,522.17 m ²	70,204 ft ²	
Level 1			
Lobby	12.48 m ²	134 ft ²	
Boardroom	27.07 m ²	291 ft ²	
WC Lobby	4.21 m ²	45 ft ²	
Office	609.71 m ²	6,563 ft ²	
WC	2.04 m ²	22 ft ²	
WC	2.04 m ²	22 ft ²	
WC	2.04 m ²	22 ft ²	
WC	3.35 m ²	36 ft ²	
8	662.93 m ²	7,136 ft ²	

Construction

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Hazard Identification		
ref	hazard	date

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Gross Internal Area (GIA) Requirements

- Development proposals comprise of the following GIA accommodation. Check measurements will be recorded as listed below and as depicted on the floor plans.
- Warehouse Area: Dimensions taken to inside face of the sheeting rails.
- Office: Dimensions taken to internal finished faces of perimeter wall linings.
- For contractual requirements on building areas and schedule of minimum GIAs refer to the "Employers requirements" document.
- GIA dimensions on this drawing are target value only. **Employers requirements** to achieve minimum GIA accommodation shall **take precedence**.
- The contractor's designers are to provide 'measurement Plans' for employer approval. These shall confirm how GIA requirements will be achieved.
- ALL dimensions indicated are subject to change during detailed design of structural steel frame and building envelope systems. Full coordination required with all relevant sub-contractors / specialists.

Rev	Revision Details	Drawn	Date	Checked
C01	Full Construction Issue	SS	08.09.22	
P11	Co-ord update and Construction Issue		02.08.22	SS
P10	Fabrication Model co-ordination update	SS	26.07.22	
P9	General Update Contract Issue	A.AL	29.06.22	SS
P8	PLANNING ISSUE. Notes amended as required by Planning.	A.AL	01.06.22	SS
P7	Office extended to GL6	SS	24.05.22	
P6	Layout & Areas updated	A.AL	19.05.22	SS
P5	SE Co-ordination and specifications Updated.	A.AL	27.04.22	SS
P4	Layout Updated	A.AL	21.04.22	SS
P3	Tender issue	AR	24.01.22	BE
P2	Scale Note Amended	BC	13.12.21	DC
P1	First Issue of Drawing	BE	16.11.21	DC

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Client
GP Developments (Newbury) Limited

Project
New Industrial Units
Newbury

Drawing Title
Unit 2-Building GA Plan(Level00)

Status Purpose of Issue
B PARTIALLY SIGNED-OFF

Drawn by BE **Created** 08.11.21

C4 Job no. 21012 **Scale** As indicated **@** A1

Dwg no.	Rev
21012-C4P-V2-ZZ-DR-A-2001	C01

20-00_Building GA Plan (Level 00)
1:200

By Department Legend

- Circulation
- Sanitary
- Warehouse

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By Department Legend

- Circulation
- Office
- Sanitary

Hazard Identification		
ref	hazard	date

PROJECT NOTES

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C01	Full Construction Issue	SS	08.09.22	
P7	Co-ord update and Construction Issue		02.08.22 SS	
P6	General Update Contract Issue	A.AL	29.06.22 SS	
P5	PLANNING ISSUE. Notes amended as required by Planning.	A.AL	01.06.22 SS	
P4	Pop ups indicated.	A.AL	25.05.22 SS	
P3	Office extended to GL6	SS	24.05.22	
P2	Layout & Areas updated	A.AL	19.05.22 SS	
P1	First Issue of Drawing	A.AL	03.05.22 SS	
Rev	Revision Details	Drawn	Date	Checked

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GP Developments (Newbury) Limited

Project
New Industrial Units
Newbury

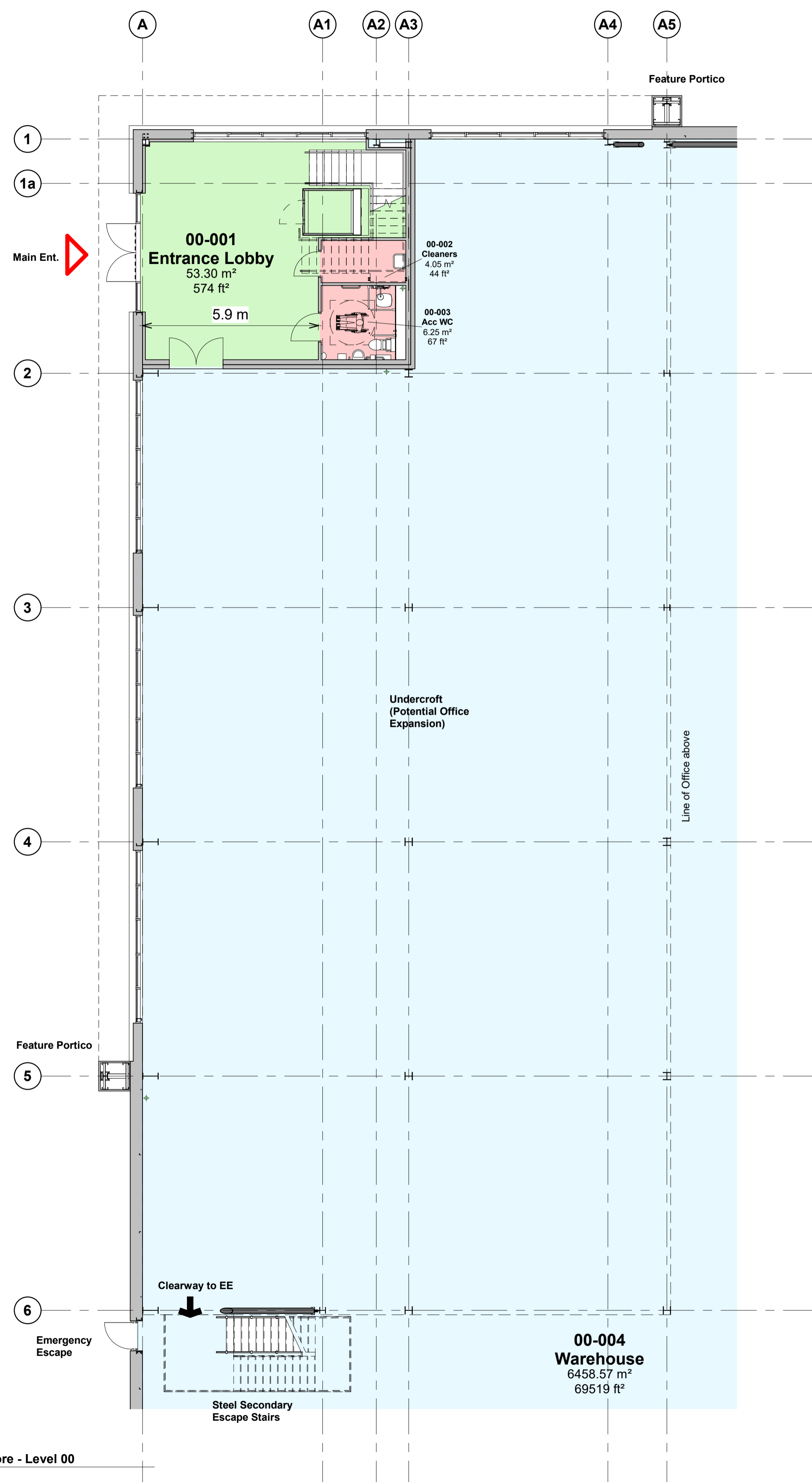
Drawing Title
Unit 2 - Office&Core GA Plans

Status Purpose of Issue
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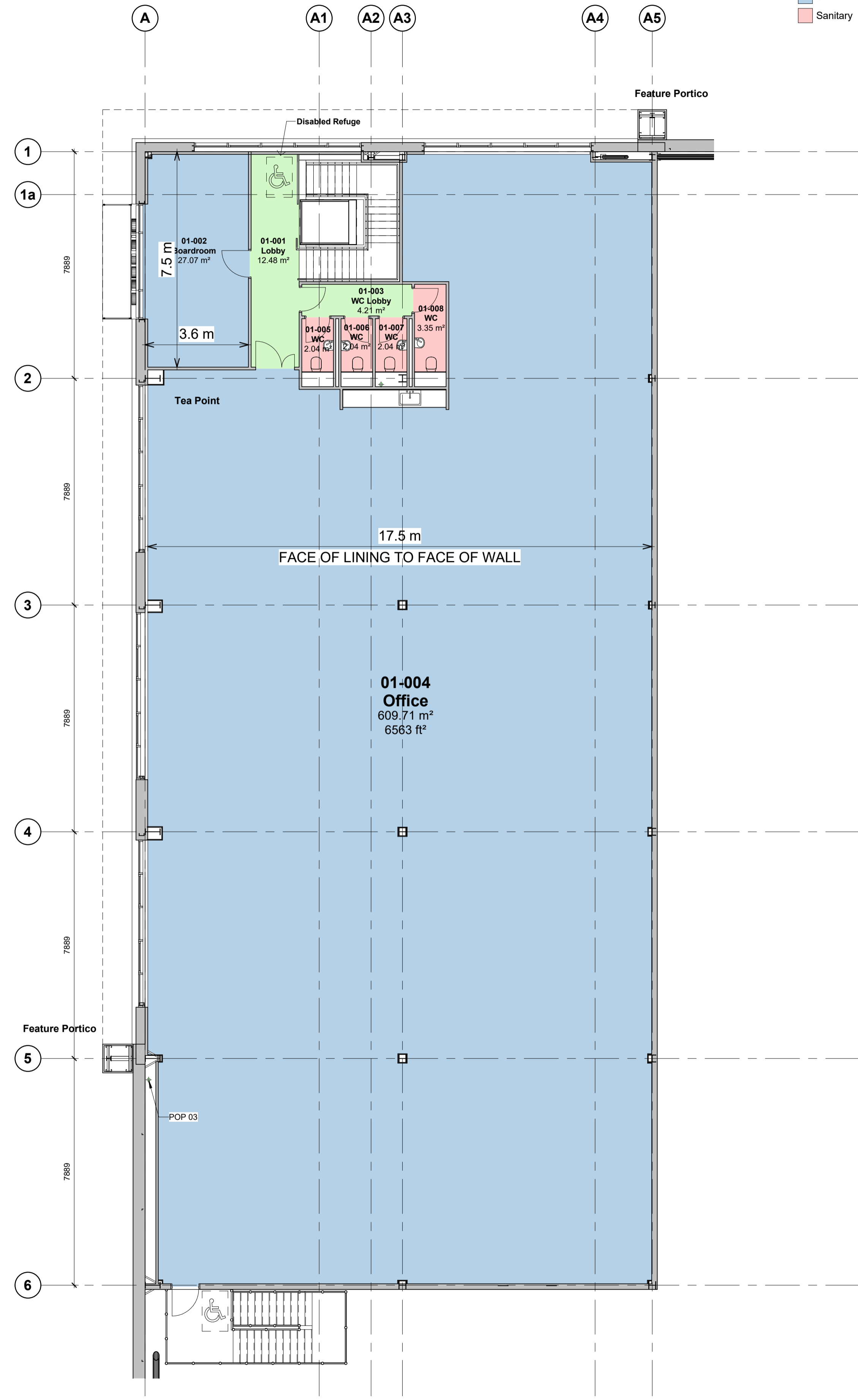
Drawn by A.AL Created 03.05.22

C4 Job no. **21012** Scale 1:100 @ A1

Dwg no.	Rev
21012-C4P-V2-ZZ-DR-A-2002	C01



1 Office & Core - Level 00
1:100



2 Office & Core - Level 01
1:100

Roof Pitch 4.00°

0m 4m 8m 12m 16m
VISUAL SCALE 1:200 @ A1

Drawing Status **CONSTRUCTION**

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Roof Plan Key

- Blue dashed line indicates indicative line of man safe system-to be confirmed by specialist supplier
- TT** Gutter and valley to be provided with tell-tale (TT) overflow spouts at each end.
- Centerline indicates syphonic drainage system - to be confirmed - refer to design by Engineer.

Key to Access and Maintenance

- External Glazing Maintenance-Telescopic pole from Ground Level, Maximum vertical reach 13m
- Rainwater Goods Cleaning-To be carried out via Roof Mansafe Latchway system, Fall Protection system designed and fitted to comply with BS EN 795:2012

U-VALUES, AIR PERMEABILITY & TESTING

U-VALUES
Please refer to BRUKL calculations for further information
Calculate area-weighted average U-values
External Walls 0.26 W/m²K
Party Walls 0.26 W/m²K
Ground Floor 0.22 W/m²K
Roof 0.23 W/m²K
External Personnel Doors 2.2 W/m²K
Windows 1.6 W/m²K
Curtain Wall 1.6 W/m²K
Roller Shutters 1.5 W/m²K

AIR PERMEABILITY AND PRESSURE TESTING
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The measured air permeability to be in compliance with the Target CO2 Emission Rate (TER) design limits.
Air Permeability 5 m³/(hxm²) at 50 Pa
All buildings above 500 m² of total useful floor area must be subject to pressure testing

ADDITIONAL NOTES:
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Hazard Identification		
ref	hazard	date

C01	Full Construction Issue	SS	08.09.22	
P7	Co-ord update and Construction Issue		02.08.22 SS	
P6	General Update Contract Issue	A.AL	29.06.22 SS	
P5	PLANNING ISSUE. Notes amended as required by Planning.	A.AL	01.06.22 SS	
P4	Roof U-Values revised and spec updated.	A.AL	24.05.00 SS	
P3	Tender Issue	AR	24.01.22 BE	
P2	Scale Note Amended	BC	13.12.21 DC	
P1	First Issue of Drawing	BE	16.11.21 DC	
Rev	Revision Details	Drawn	Date	Checked

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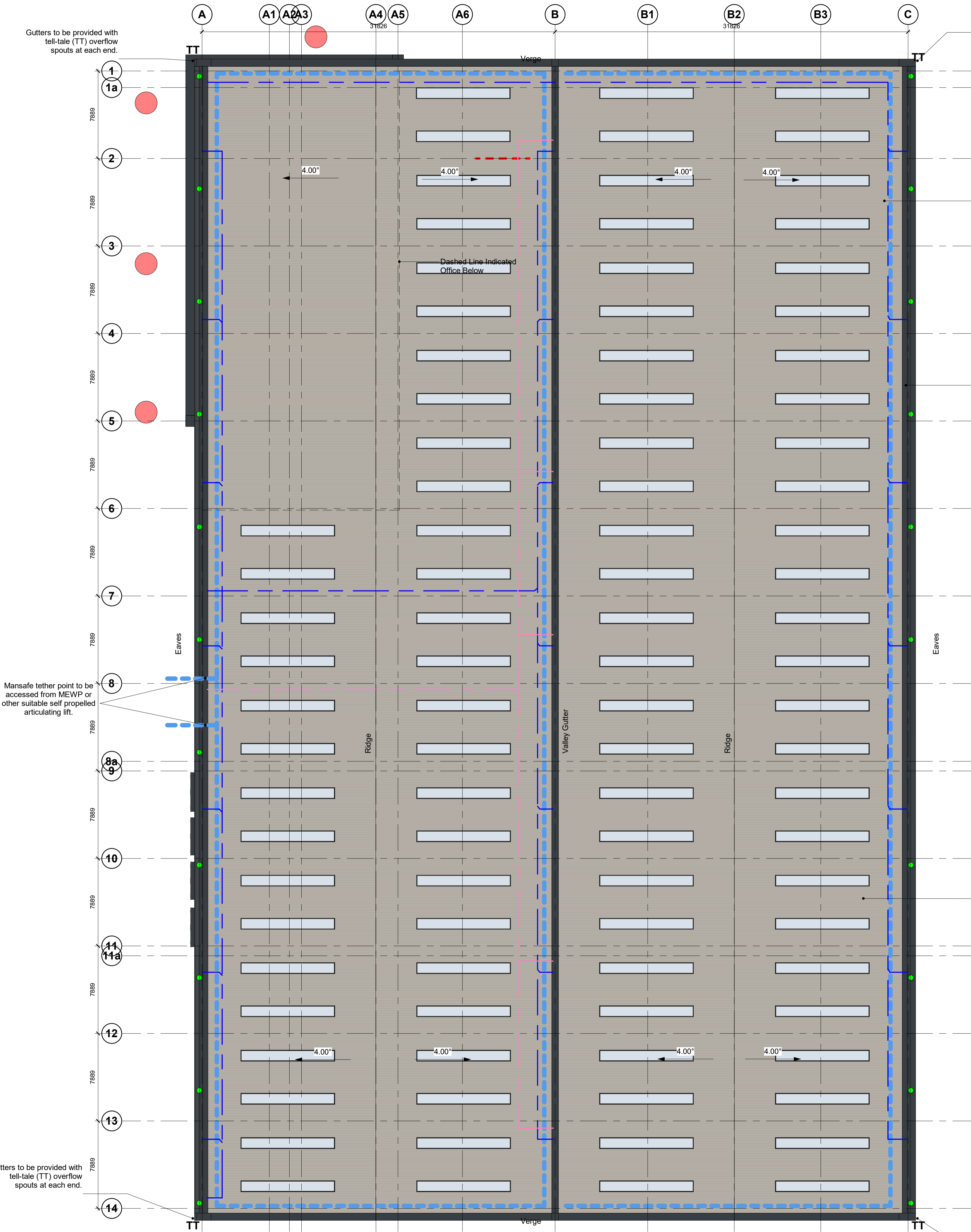
Client
GP Developments (Newbury) Limited

Project
New Industrial Units
Newbury

Drawing Title
Unit 2 - Roof Plan as Proposed

Status Purpose of Issue
B PARTIALLY SIGNED-OFF

Drawn by	AR	Created	JAN 22
C4 Job no.	21012	Scale	As indicated @ A1
Dwg no.	21012-C4P-V2-RL-DR-A-3301	Rev	C01



Gutters to be provided with tell-tale (TT) overflow spouts at each end.

Full roof coverage Mansafe System

Roof Type 1 - Kingspan KS1000RW trapezoidal Composite roof panel system - Goosewing Grey (RAL 7038) with integrated polycarbonate rooflights (10%). Roof to achieve a min. U Value of 0.23 W/m²K

Blue Dashed line indicates indicative line of man-safe system - to be confirmed by specialist supplier

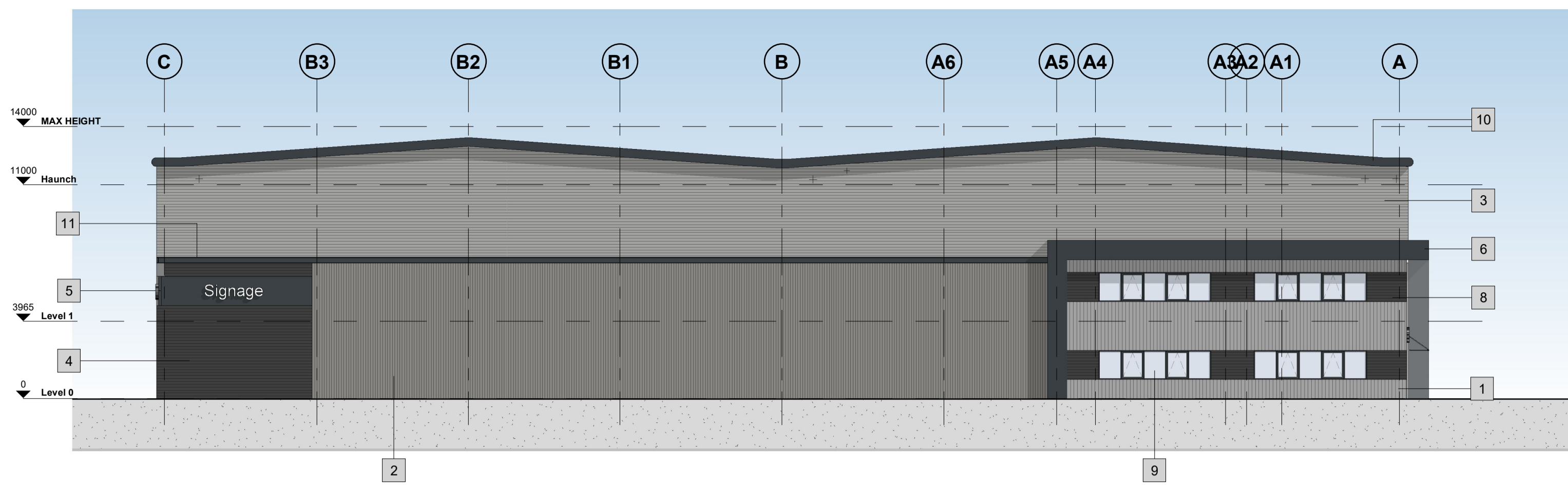
Roof Light Notes:
Rooflight Exceeds 12% of overall roof Area
Total Roof Area: 6691.02 M²
10% of Roof Area: 669.1 M²
Roof Lights:
94 no @ 8500x1000mm=799 M²
Roof Light Coverage percent: 12%

Gutters to be provided with tell-tale (TT) overflow spouts at each end.

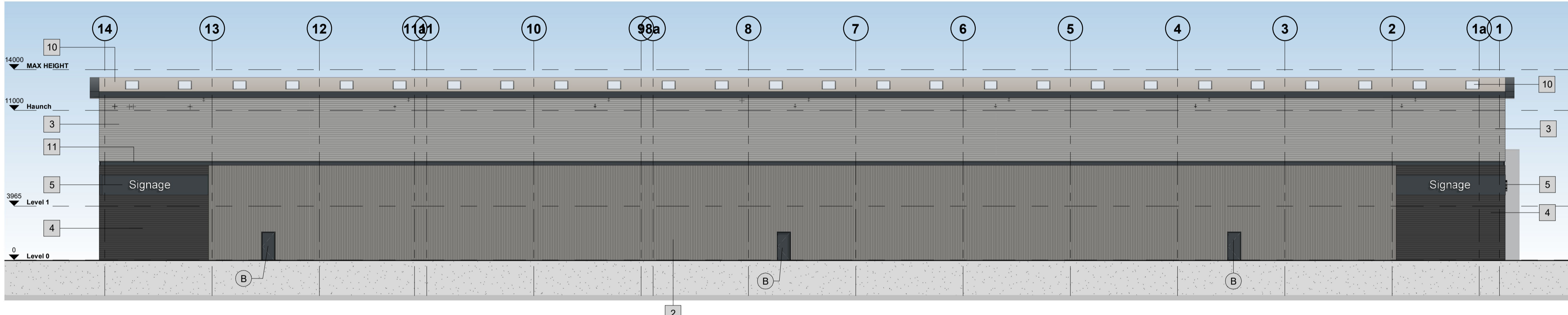
Mansafe tether point to be accessed from MEWP or other suitable self propelled articulating lift.

Gutters to be provided with tell-tale (TT) overflow spouts at each end.

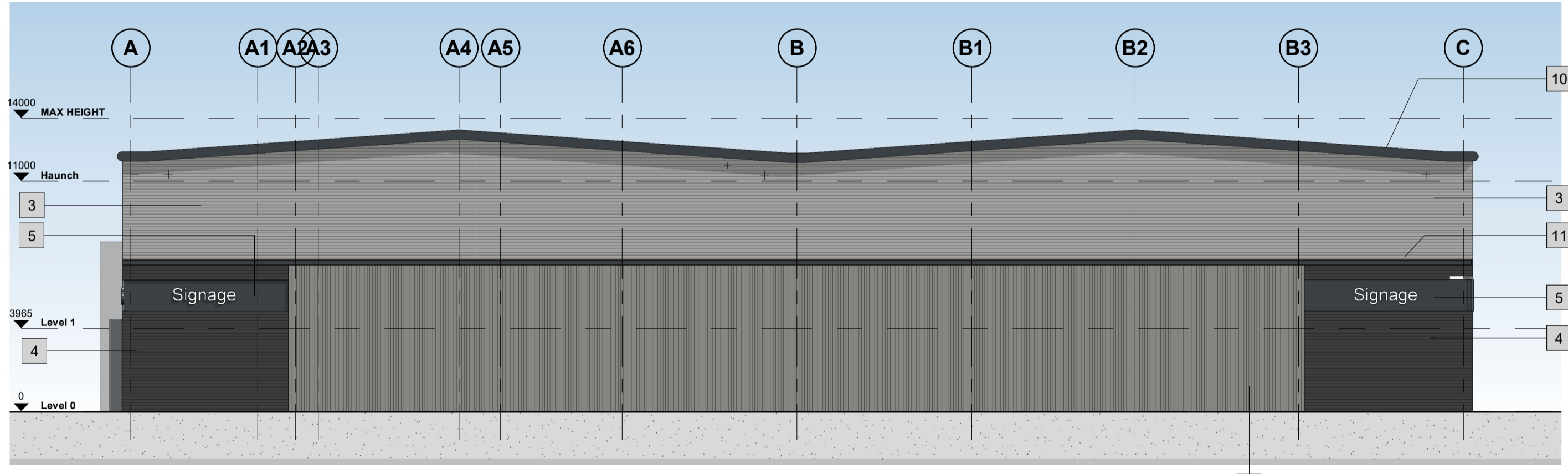
33-RL_Roof Plan as Proposed
1:200



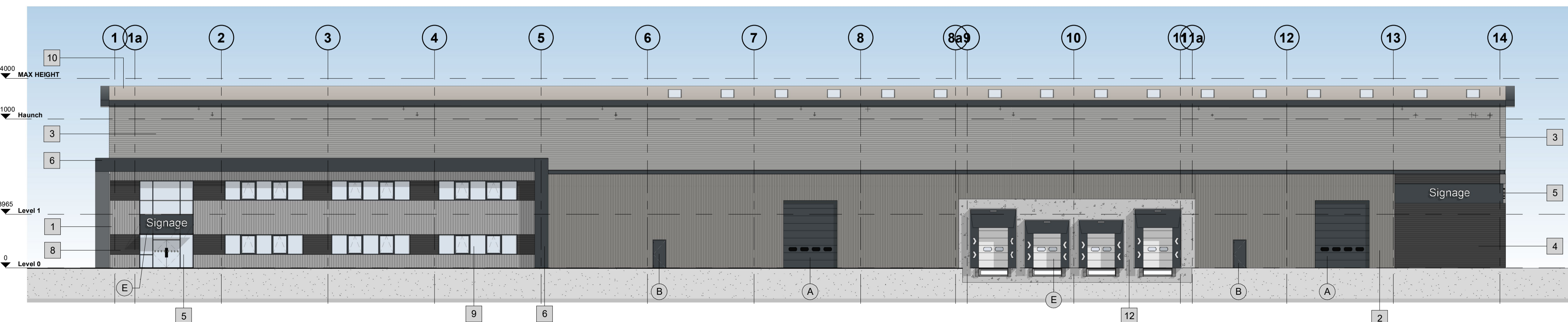
1 Unit 2 - North East Elevation
1:200



2 Unit 2 - South East Elevation
1:200



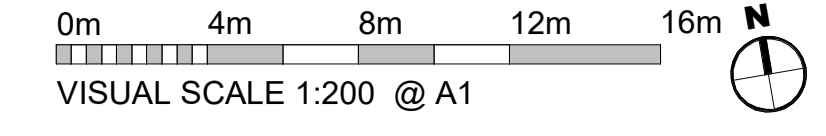
3 Unit 2 - South West Elevation
1:200



4 Unit 2 - North West Elevation
1:200

Building Fabric Materials Schedule

- 1 Wall Type 1 - Vertical plank pattern (180mm wide) secret-fixed steel cladding panels ppc in White Aluminium (RAL 9006) on insulated composite cladding carrier panel.
- 2 Wall Type 2 - Built-up metal Cladding (twin skinned, insulated) Vertical Trapezoidal profile - Grey Aluminium (RAL 9007)
- 3 Wall Type 3 - Built-up metal Cladding (twin skinned, insulated) Horizontal Trapezoidal profile -White Aluminium (RAL 9006)
- 4 Wall Type 4 - Built-up metal Cladding (twin skinned, insulated) Horizontal Trapezoidal profile -Anthracite (RAL 7016)
- 5 Wall Type 5 - Pressed Aluminium Sheet Flat Profile (twin skinned, insulated), PPC finish Anthracite (RAL 7016) Signage by occupier
- 6 Wall Type 6 - Microrib finish cladding panels to feature surround portico fascia and column fronts and sides, with flat plank-pattern panels to portico soffit. All elements to have PPC finish in Anthracite (RAL 7016)
- 7 Wall Type 7 - Aluminium Curtain Wall stick frame system PPC Anthracite (RAL 7016) framing, double glazed infills (solar control)
- 8 Integrated feature louvre profile cladding panels in Anthracite (RAL 7016) between glazed elements of ribbon windows
- 9 Double glazed aluminium ribbon window system PPC Anthracite (RAL 7016)
- 10 Roof Type 1 - Composite roof panel system - Goosewing Grey (RAL 7038) with integrated polycarbonate rooflights (10%)
- 11 Feature recessed flashing detail in Anthracite (RAL 7016)
- 12 Insulated concrete Prowall system for dock levellers and sectional doors



- A Operational Door - Level Access Sectional insulated shutter, plastisol coated finish, Anthracite (RAL 7016)
- B Personnel Access / Escape doorset - Warehouse Galvanised steel, thermally insulated core, PPC Anthracite (RAL 7016)
- C Aluminium Profiled Bullnosed Eaves Gutter PPC finish Anthracite (RAL 7016)
- D Glazed Canopy above entrance by specialist contractor
- E Double and single dock levellers with insulated sectional doors in Silver/Grey Aluminium with dock shelters in Anthracite/Black

Note:
Internal Siphonic Drainage System to be installed.
Maximum roof height to be no more than 14m.
Portal Frame to be pre-set in fabrication to 4degrees.

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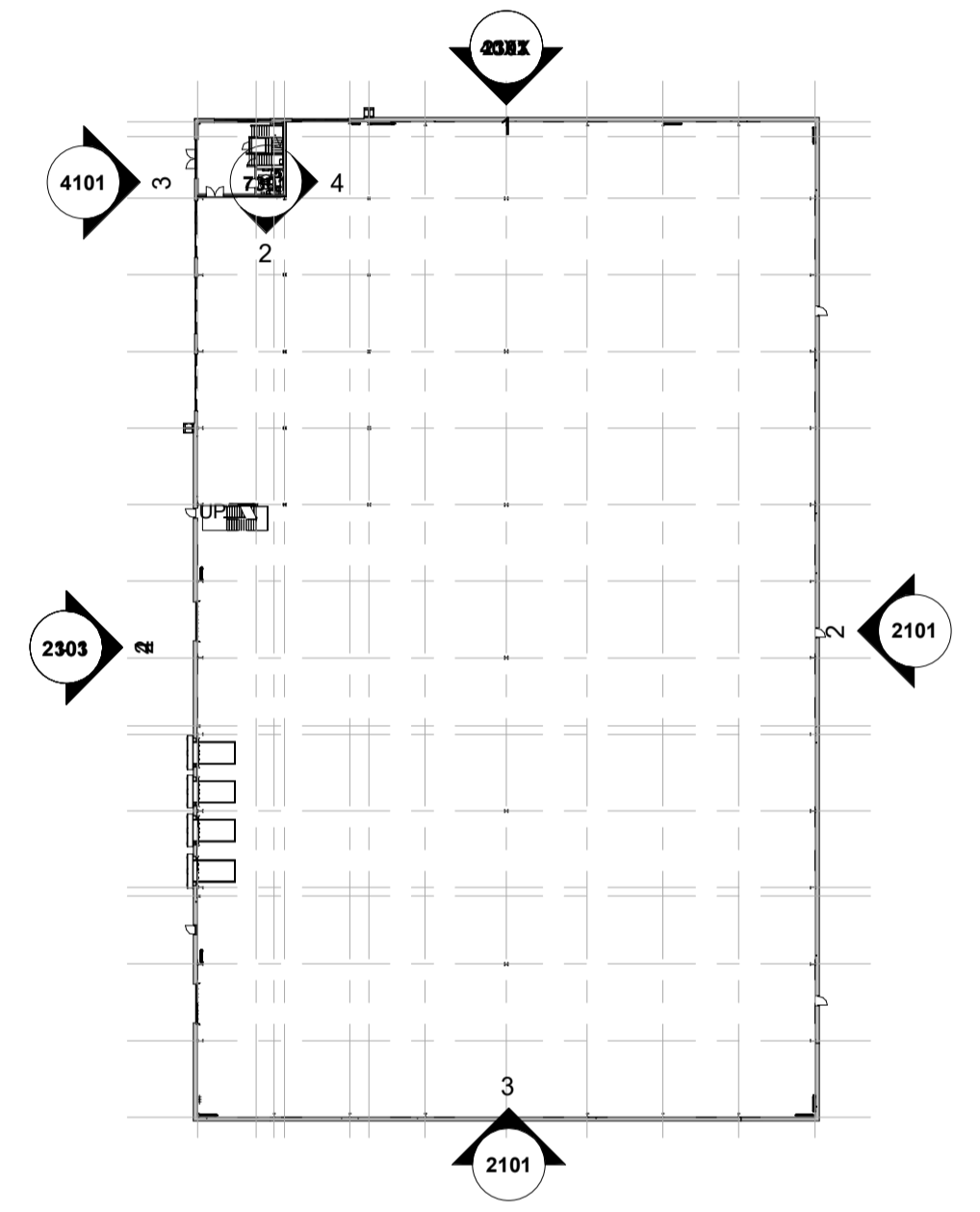
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PROJECT NOTES

- Design information indicated on this drawing is to be used solely for COORDINATION purposes.
- Development proposals are to be read in conjunction with all referenced drawings and documents.
- Soft Landscaping shown is indicative, refer to Landscape Architect design for full details.
- Any proposed levels are indicative and subject to change to suit Engineer Solution



5 Key Plan Elevation
1:750

C04	Cladding updated per client requirements	SS	26.01.23
C03	First Floor Level Updated	GN	18.11.22
C02	EDR-00-03 FE door position relocated	AR	26.09.22
C01	Full Construction Issue	SS	08.09.22
P8	Co-ord update and Construction Issue		02.08.22
P7	General Update Contract Issue	A.AL	29.06.22
P6	PLANNING ISSUE. Notes amended as required by Planning	A.AL	01.06.22
P5	SE Co-ordination and specifications Updated.	A.AL	27.04.22
P4	Elevations Updated.	A.AL	21.04.22
P3	Tender issue	AR	24.01.22
P2	Scale Note Amended	BC	13.12.21
P1	First Issue of Drawing	BE	16.11.21

U-VALUES, AIR PERMEABILITY & TESTING

U-VALUES
Please refer to BRUKL calculations for further information

Calculate area-weighted average U-values
 External Walls 0.26 W/m²K
 Party Walls 0.26 W/m²K
 Ground Floor 0.22 W/m²K
 Roof 0.23 W/m²K
 External Personnel Doors 2.2 W/m²K
 Windows 1.6 W/m²K
 Curtain Wall 1.6 W/m²K
 Roller Shutters 1.5 W/m²K

AIR PERMEABILITY AND PRESSURE TESTING
 Reasonable provision shall be made to ensure the building is constructed to minimise unwanted air leakage through the new building fabric. The measured air permeability to be in compliance with the Target CO2 Emission Rate (TER) design limits.
 Air Permeability 5 m³/(hxm²) at 50 Pa
 All buildings above 500 m² of total useful floor area must be subject to pressure testing

ADDITIONAL NOTES:
 Only non-combustible materials are to be used on the building envelope

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Client
 GP Developments (Newbury) Limited

Project
 New Industrial Units
 Newbury

Drawing Title
 Unit 2 - Elevations as Proposed

Status Purpose of Issue
S0 WORK IN PROGRESS

Drawn by	BB	Created	08.11.21
C4 Job no.	21012	Scale	As indicated @ A1
Dwg no.	21012-C4P-V2-ZZ-DR-A-2101	Rev	C04

Building Fabric Materials Schedule

- 1 Wall Type 1 - Built-up/composite metal Cladding (twin skinned, insulated) TBC Western Red Cedar Finish
- 2 Wall Type 2 - Built-up metal Cladding (twin skinned, insulated) Vertical Trapezoidal profile - Grey Aluminium (RAL 9007)
- 3 Wall Type 3 - Built-up metal Cladding (twin skinned, insulated) Horizontal Trapezoidal profile -White Aluminium (RAL 9006)
- 4 Wall Type 4 - Aluminium Curtain Wall stick frame system PPC Anthracite (RAL 7016) framing, double glazed infills (solar control)
- 5 Wall Type 5 - Pressed Aluminium Sheeting Flat Profile (twin skinned, insulated), PPC finish Anthracite (RAL 7016) Signage by occupier.
- 6 Wall Type 6 - Pressed Aluminium Sheeting to Feature Surround Flat faced panels (uninsulated), open joints, PPC finish Anthracite (RAL 7016)
- 7 Feature recessed detail flashing Anthracite (RAL 7016)
- 8 Integrated timber effect louvre system - to match timber colour cladding
- 9 Double glazed aluminium ribbon window system PPC Anthracite (RAL 7016)
- 10 Roof Type 1 - Composite roof panel system - Goosewing Grey (RAL 7038) with integrated polycarbonate rooflights (10%)

- A Operational Door - Level Access Sectional insulated shutter, plastisol coated finish, Anthracite (RAL 7016)
- B Personnel Access / Escape doorset - Warehouse Galvanised steel, thermally insulated core, PPC Anthracite (RAL 7016)
- C Double & Single Dock Leveller & inflatable shelter. In Concrete Prowall System.
- D Aluminium Profiled Bullnosed Eaves Gutter PPC finish Anthracite (RAL 7016)
- E Glazed Canopy above entrance.

Note: Internal Siphonic Drainage System to be installed
Portal Frame to be pre-set in fabrication to 4 degrees.

U-VALUES, AIR PERMEABILITY & TESTING

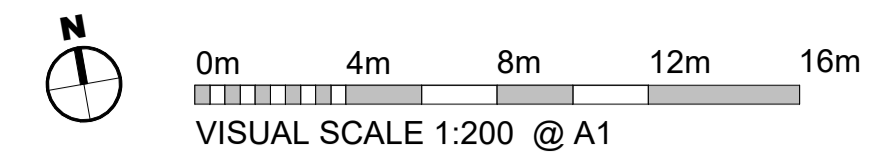
U-VALUES
Please refer to BRUKL calculations for further information

Calculate area-weighted average U-values
 External Walls 0.26 W/m²K
 Party Walls 0.22 W/m²K
 Ground Floor 0.22 W/m²K
 Roof 0.23 W/m²K
 External Personnel Doors 2.2 W/m²K
 Windows 1.6 W/m²K
 Curtain Wall 1.6 W/m²K
 Roller Shutters 1.5 W/m²K

AIR PERMEABILITY AND PRESSURE TESTING

Reasonable provision shall be made to ensure the building is constructed to minimise unwanted air leakage through the new building fabric. The measured air permeability to be in compliance with the Target CO₂ Emission Rate (TER) design limits.
 Air Permeability 5 m³/(hxm²) at 50 Pa
 All buildings above 500 m² of total useful floor area must be subject to pressure testing

ADDITIONAL NOTES:
Only non-combustible materials are to be used on the building envelope



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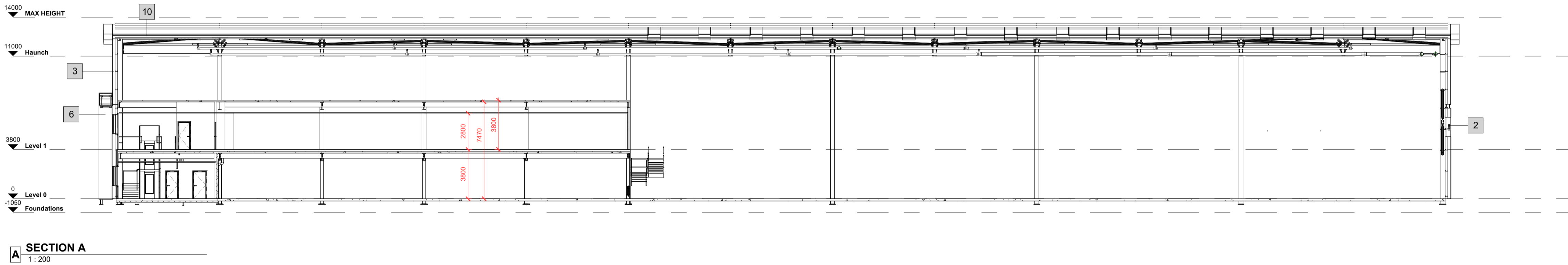
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ref	hazard	date

PROJECT NOTES

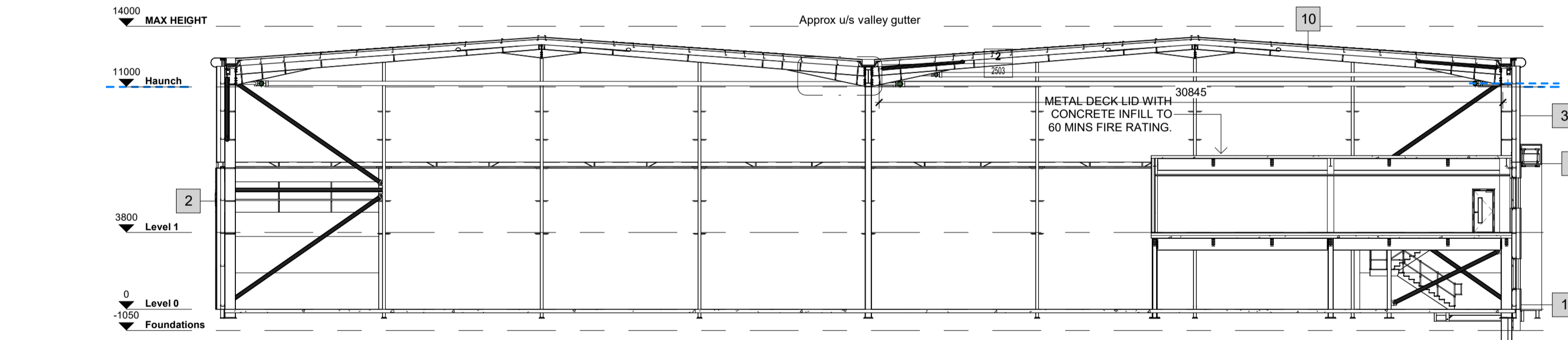
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3. Soft Landscaping shown is indicative, refer to Landscape Architect design for full details.
4. Any proposed levels are indicative and subject to change to suit engineered solutions.

REFERENCE DRAWINGS

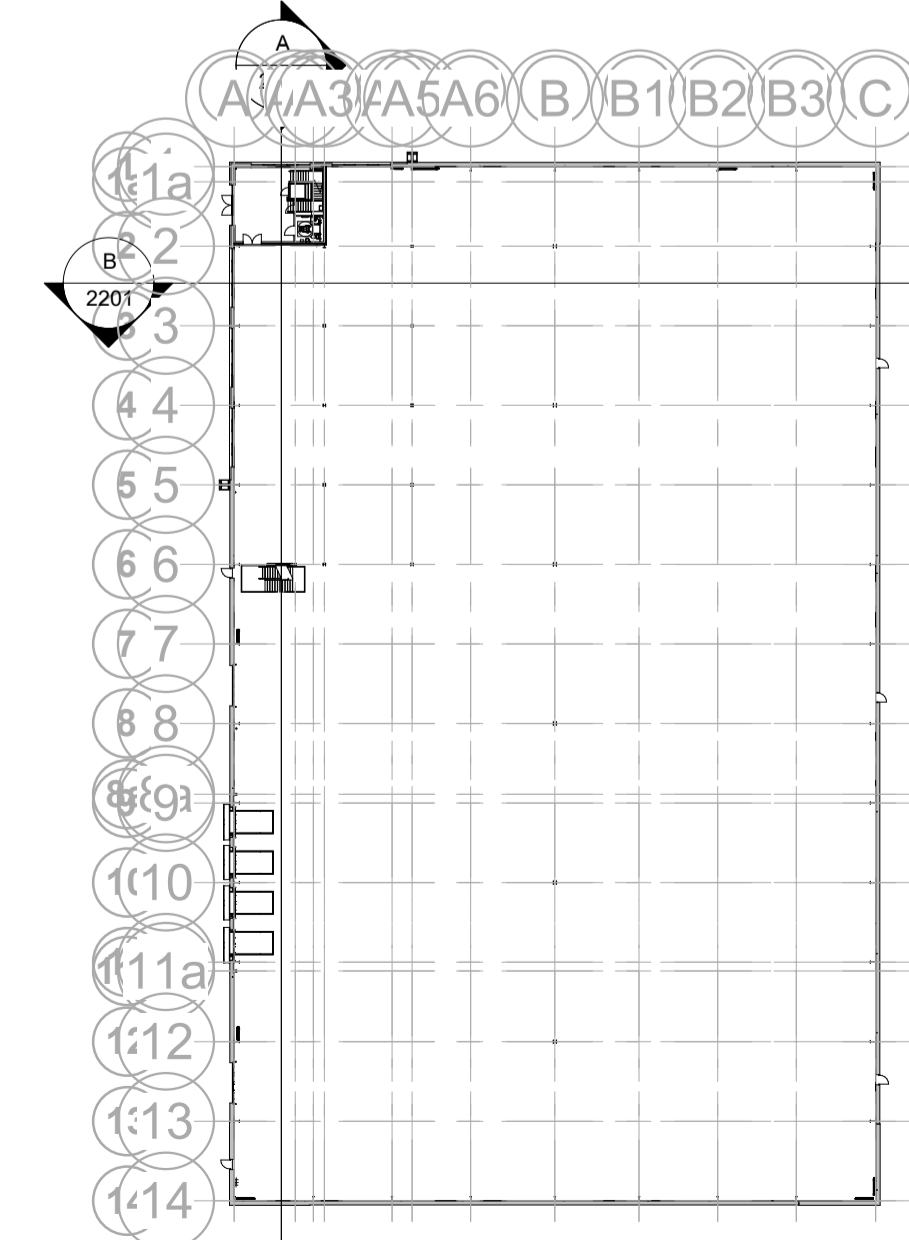
- Refer to 01/02/05/06/62 Series For Site Information
- Refer to 20 Series For Building GA Plans
 Refer to 21 Series For Building GA Elevations
 Refer to 22 Series For Building GA Sections
 Refer to 24 Series For Ceiling Plans
 Refer to 25/26 Series For Detailed Sections and Plans
 Refer to 30 Series for Floor Types
 Refer to 32 Series For Internal Partition Types
 Refer to 40 to 45 Series For Schedules
 Refer to 62 Series for Fire Strategies
 Refer to 72/73 Series for Room Details



A SECTION A
1 : 200



B SECTION B
1 : 200



1 Key Plan
1 : 750

C01	Full Construction Issue	SS	08.09.22
P7	Co-ord update and Construction Issue	02.08.22	SS
P6	General Update Contract Issue.	A.AL	29.06.22
P5	Note added Portal frame to be pre-set in fabrication to 4 degrees.	A.AL	27.05.22
P4	Office extended to GL6	SS	24.05.22
P3	SE frame indicated	SS	20.05.22
P2	SE Co-ordination and specifications Updated.	A.AL	27.04.22
P1	Tender issue	AR	24.01.22

Rev	Revision Details	Drawn	Date	Checked

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Client
GP Developments (Newbury) Limited

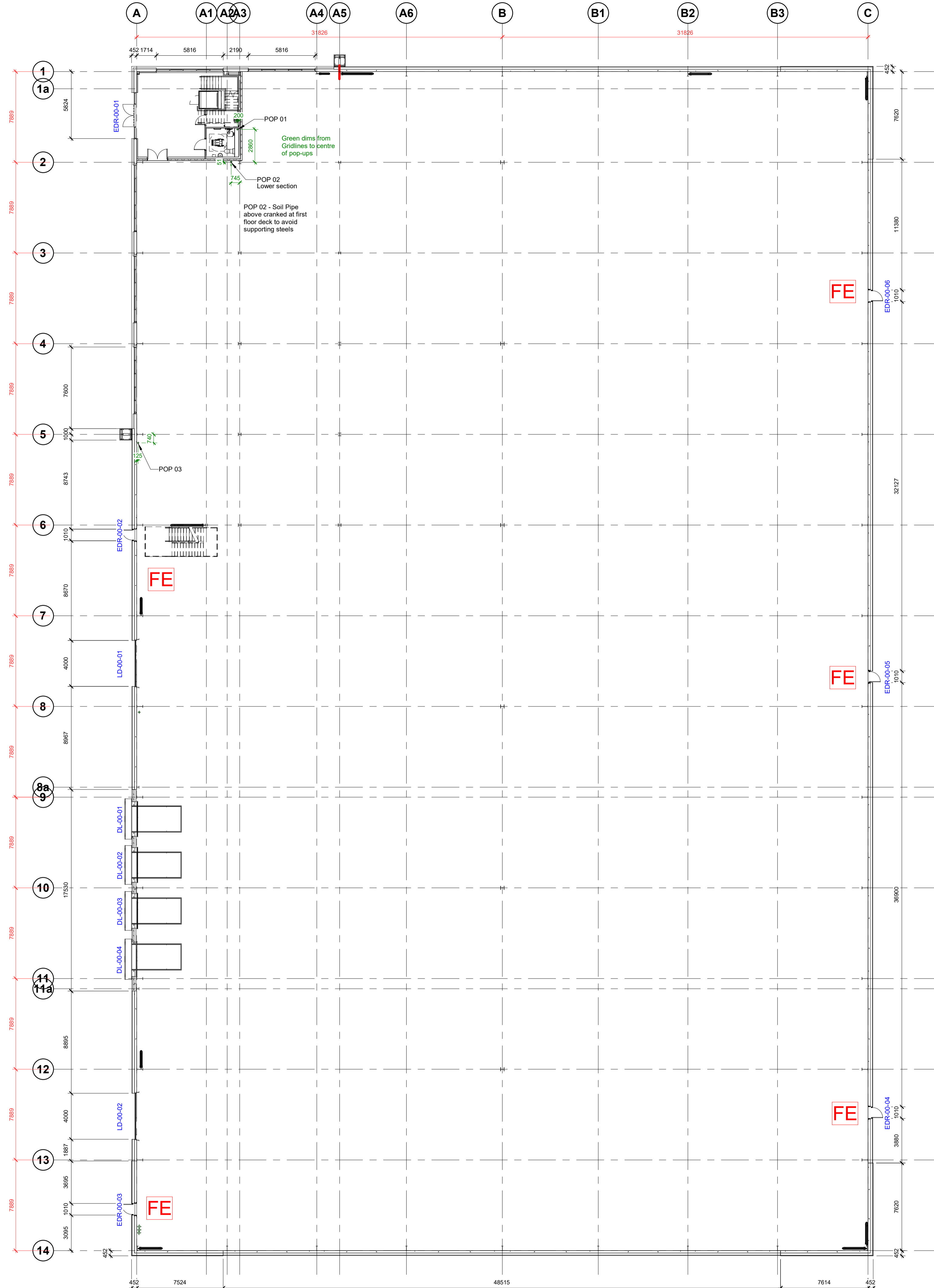
Project
New Industrial Units
Newbury

Drawing Title
Unit 2 - GA Sections as Proposed

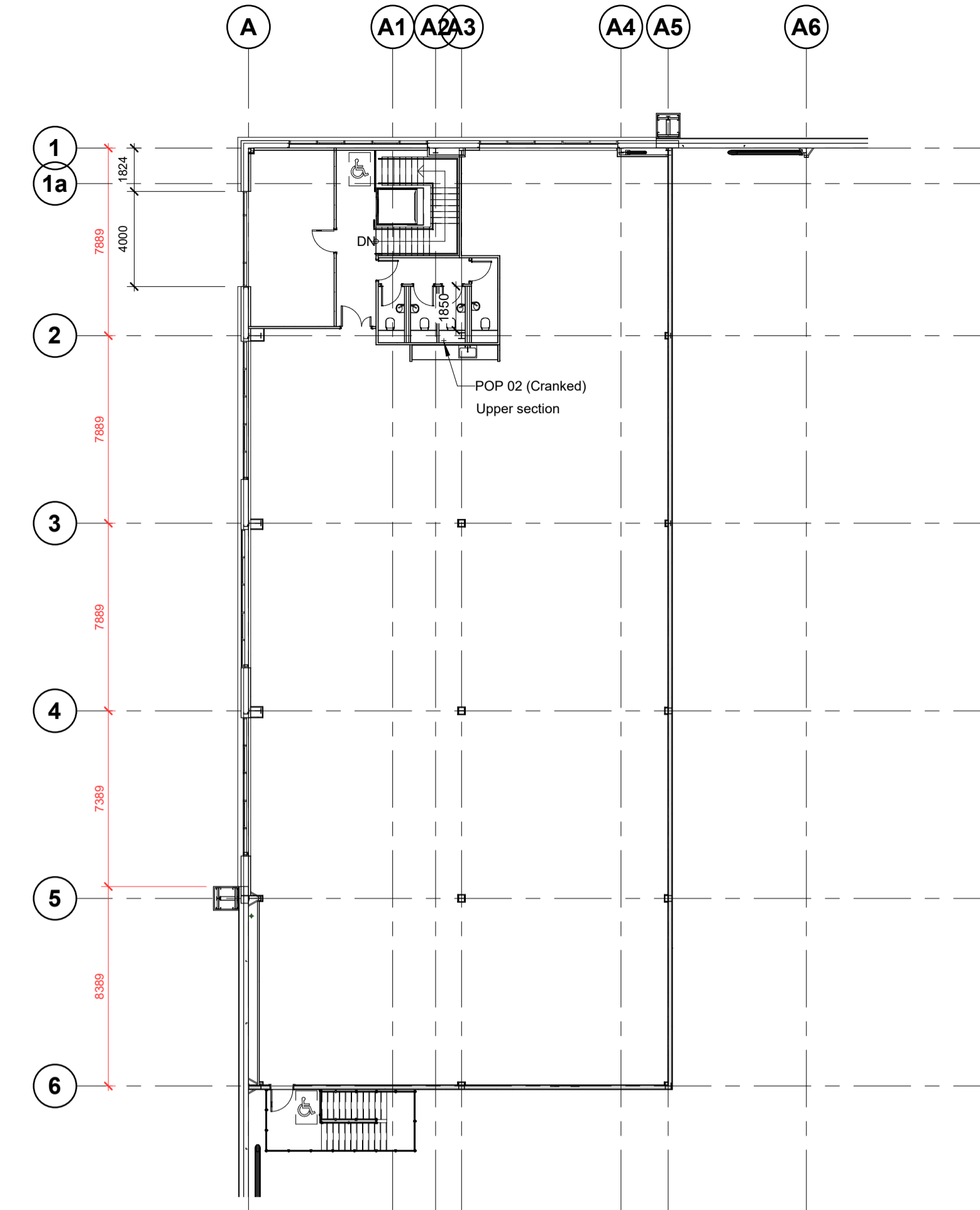
Status Purpose of Issue
B PARTIALLY SIGNED-OFF

Drawn by BE Created JAN 22
C4 Job no. 21012 Scale As indicated @ A1

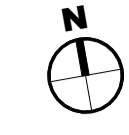
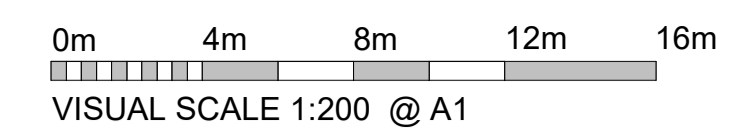
Dwg no. 21012-C4P-V2-ZZ-DR-A-2201 Rev C01



1 23-00_Setting-Out Plan - Level 00 (Sheet 1)
1:200



2 23-01_Setting-Out Plan - Level 01
1:200



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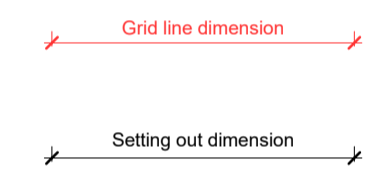
Hazard Identification		
ref	hazard	date

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DENOTES POP UP LOCATOR - TO BE CONFIRMED BY CLIENT. ALL DIMENSIONS ARE FROM GRID LINES.

REFER TO WALL DRAWINGS FOR INTERNAL WALL POSITIONS (SERIES 32)



C01 Full Construction Issue	SS	08.09.22
P2 Construction Issue	SS	08.09.22
P1 Tender Issue	AR	24.01.22
Rev	Revision Details	Drawn Date Checked

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Client
GP Developments (Newbury) Limited

Project
New Industrial Units
Newbury

Drawing Title
Unit 2 - Setting Out Plans

Status Purpose of Issue
B PARTIALLY SIGNED-OFF

Drawn by	AR	Created	JAN 22
C4 Job no.	21012	Scale	As indicated @ A1

Dwg no.	21012-C4P-V2-ZZ-DR-A-2301	Rev	C01
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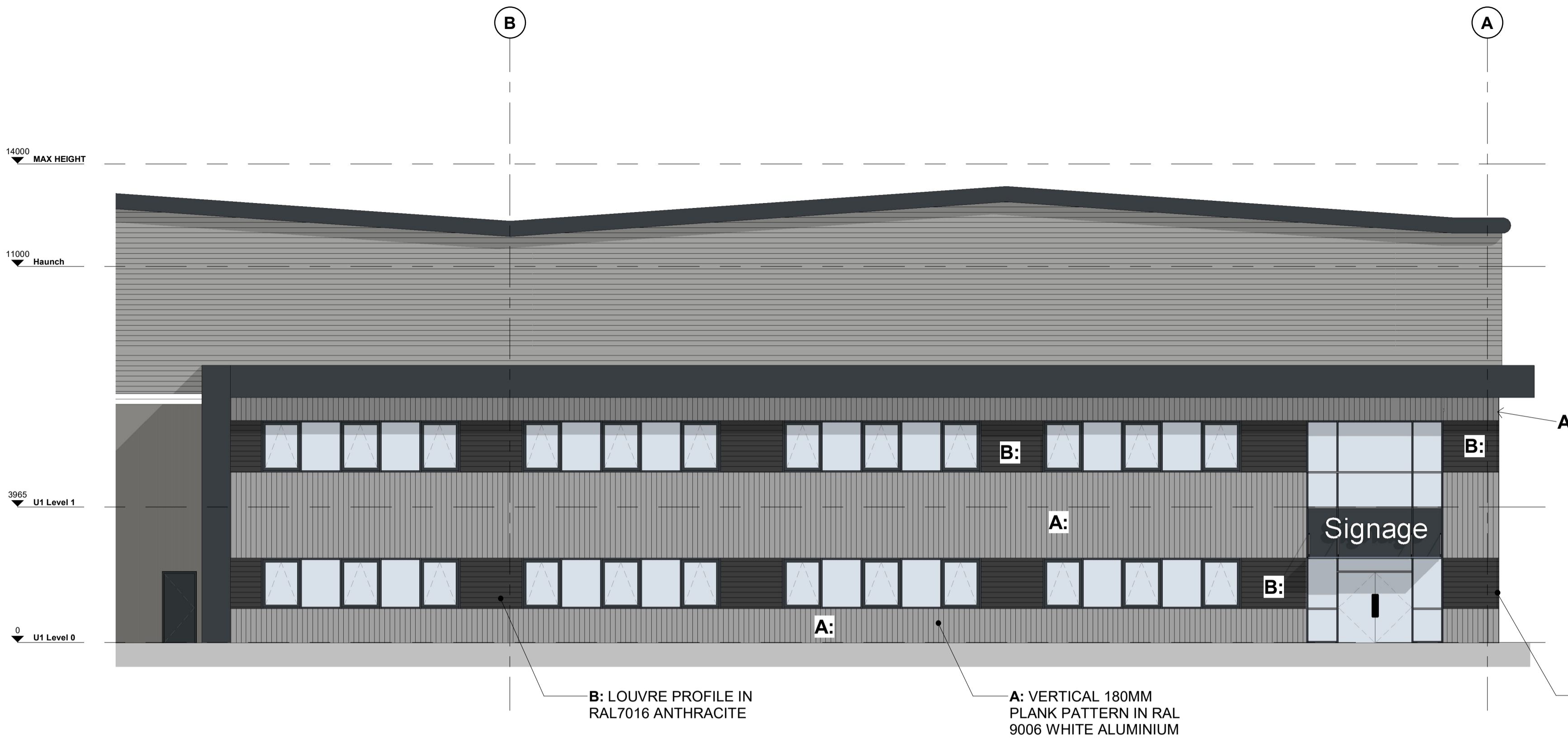
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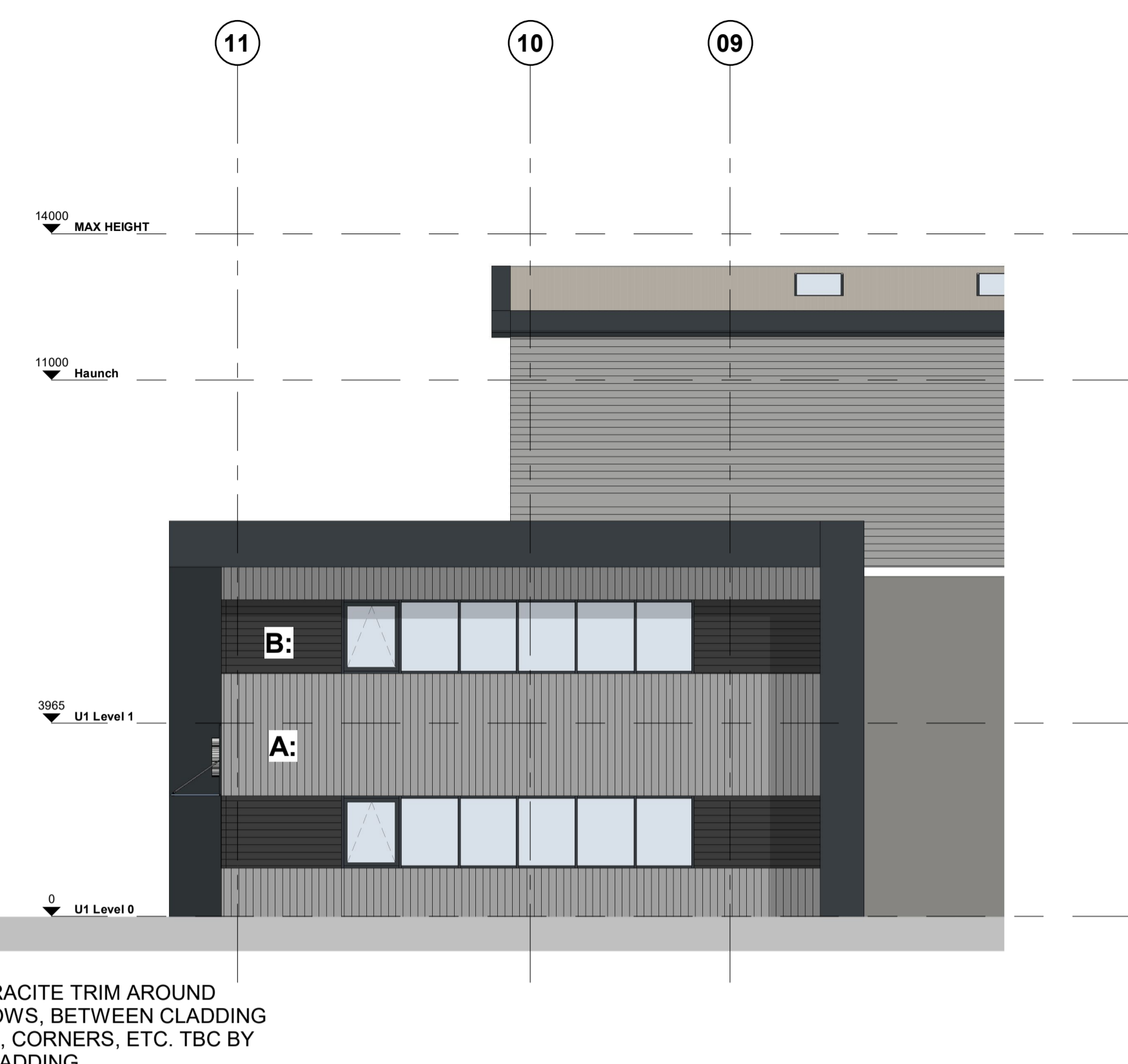
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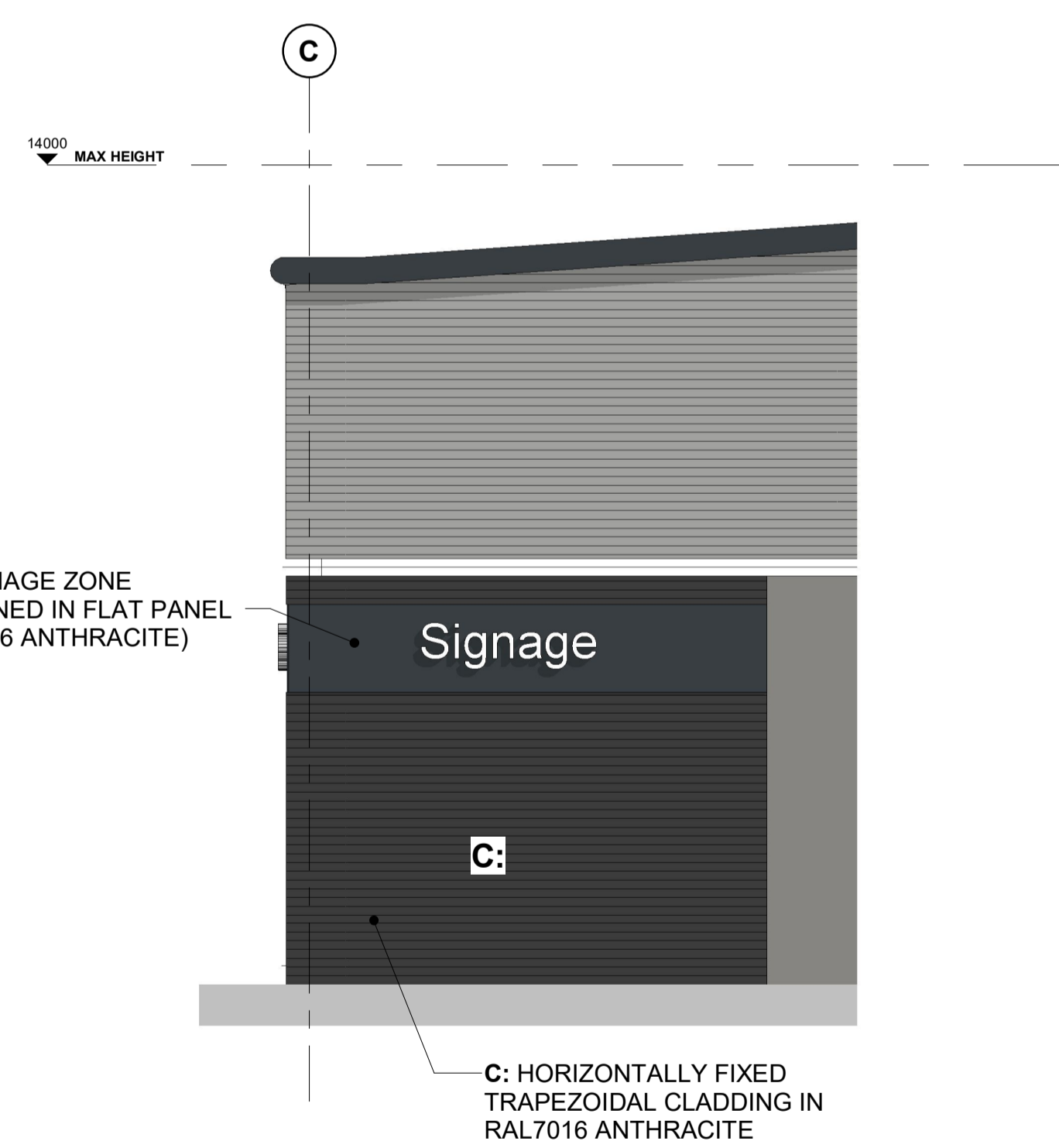
DRAWING PRODUCED FOR COMMENT/ APPROVAL



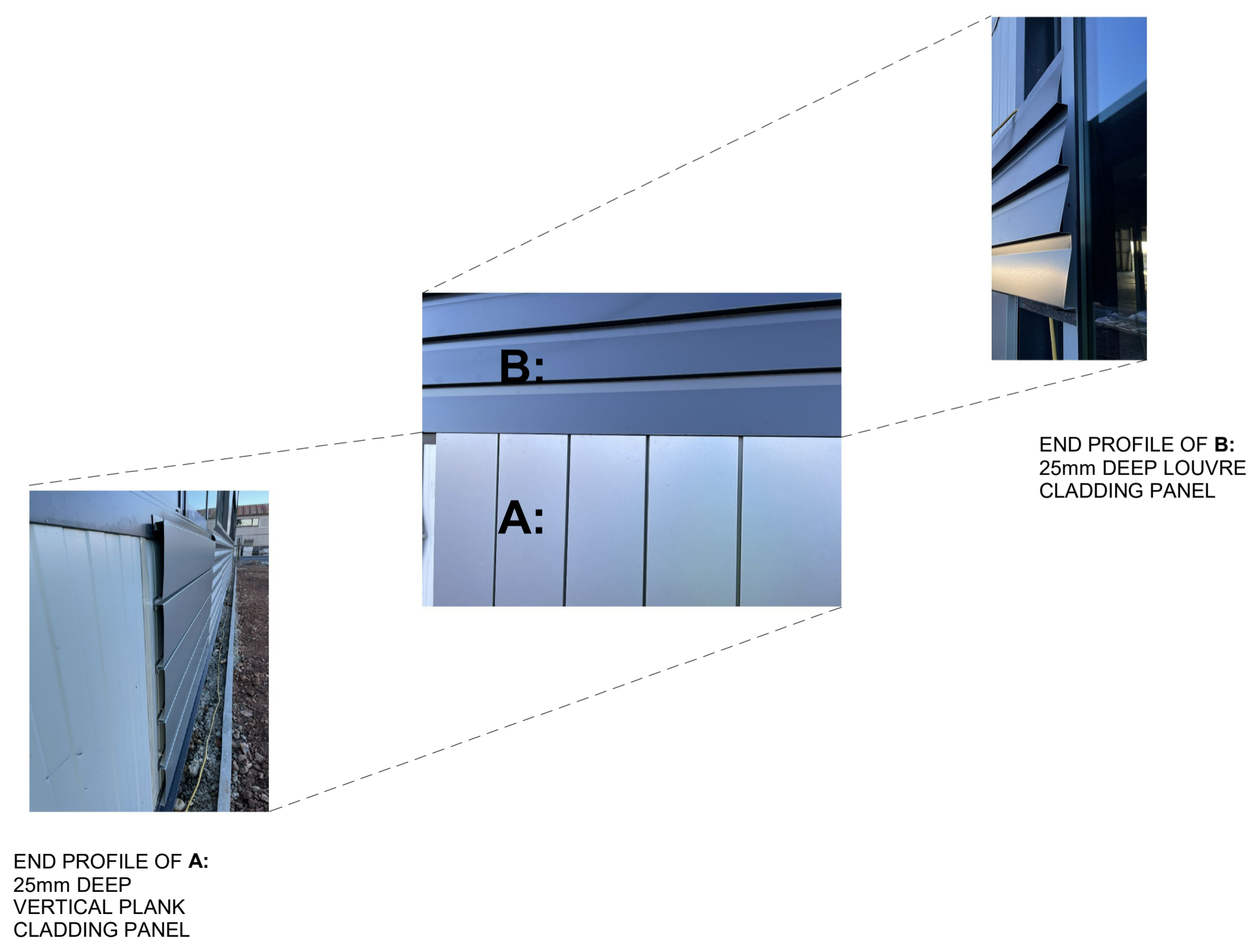
6 Unit 1 Alternative South East Elevation
1:100



5 Unit 1 Alternative North East Elevation
1:100



1 Unit 1 Typical Corner Detail
1:100



Cladding Key

- A:** VERTICAL 180MM PLANK PATTERN IN RAL 9006 WHITE ALUMINIUM
- B:** LOUVRE PROFILE IN RAL7016 ANTHRACITE
- C:** HORIZONTALLY FIXED TRAPEZOIDAL CLADDING IN RAL7016 ANTHRACITE
- D:** SIGNAGE ZONE (RETAINED IN FLAT PANEL RAL7016 ANTHRACITE)

P1	First Issue	SS	19.01.23
Rev	Revision Details	Drawn	Date

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Client
GP Developments (Newbury) Limited

Project
New Industrial Units
Newbury

Drawing Title
Unit 1 - Alternative Elevation Treatments

Status Purpose of Issue
S3 SUITABLE FOR REVIEW AND COMMENT

Drawn by	SS	Created	19.01.23
C4 Job no.	21012	Scale	1:100 @ A1

Dwg no.	Rev
21012-C4P-V1-ZZ-DR-A-9104	P1